

# Submission #1

27/11/2018

CITY OF MORELAND  
ATT: MARIE CLAIRE O'HARE  
ACTING MANAGER  
CITY STRATEGY & DESIGN.  
LOCKED BAG 10  
MORELAND 3058

Moreland City Council RECEIVED 30 NOV 2018 C/174
-----------------------------------------------------------

Case No	
Case [ ] Attached [ ]	
File With	me/c 30241
Forwarded to	
Referred to	M. O'Hare

Dear Ms. O'Hare

Re: Amendment C174

I am writing to you to request that my property (Unit 3/104 Tinning Street Brunswick) not be included in this amendment.

My property is a single storey 70's unit in a block of at least 12 single storey units and am asking council to remove all properties at 104 Tinning Street from this amendment.

I understand protecting the local heritage and have no issue with surrounding properties being included but strongly object to this block being included.

Please advise if this request is possible as it makes no sense.

In Anticipation -

Yours Faithfully

[Redacted Signature]

## Submission #2

To Moreland Council 12 December 2018

Re: Moreland Planning Scheme HERMES number 56456

Re Amendment C174

[REDACTED]

Following on from a meeting with heritage report consultants and Council representatives on 10 December, as requested, here below is a summary of issues raised opposing the proposed inclusion of [REDACTED] in the Heritage Overlay of the Moreland Planning Scheme as an individual place.

Note— for privacy and security, my personal details are not to be published on any Council documents or website.

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HERMES number 56456    Survey Date 2017

Moreland Planning Scheme  
Re Amendment C174

Re: proposals regarding [REDACTED]

The heritage assessment report contains errors of fact and omissions, leading to a faulty and misguided recommendation that [REDACTED] be included in the Heritage Overlay of the Moreland Planning Scheme as an individual place.

In summary, the house is not historically intact and substantial and significant alterations to the exterior walls and features are evident on all four sides of the house. Information on alterations here is from two previous owners, spanning the recent 70 years of occupancy.

During the late 1960s and early 1970s, many alterations were made to the exterior (and interior) of the house, affecting all four exterior walls of the house, and these alterations include the following examples.

1. The small windows in the gables at the front and rear are not original features but aluminium windows inserted around the late 1960s.
2. At the front of the house, the verandah was substantially replaced — the damaged wooden verandah flooring was removed entirely and replaced with concrete; the damaged lower sections of the verandah posts were also removed and to replace these supports, five blocks of red brickwork were introduced.
3. A new metal security-gate structure was designed, with various motifs and made to fit the

entrance aperture, and installed. This is not an original structure as erroneously cited in the heritage listing report proposal.

4. The entrance door is also early 1970s, constructed from timber with 1970s yellow-amber glass inserts; alongside it is a full-length yellow-amber glass panel.

5. The original roof was removed and instead replaced with terracotta tiles, and the roofline altered at rear.

6. At the rear of the house, (east facing), a section of external concrete wall was removed entirely and a weatherboard extension attached (for laundry and additional toilet.) The back verandah was enclosed and its roof was removed, replaced with terracotta tiling. Aluminium windows were installed in roof gable.

7. On the south side of the building, two window apertures in the concrete wall were enlarged to take new windows — the kitchen window aperture substantially enlarged and contemporary diamond-fashioned wooden windows installed. In the laundry wall aperture, an aluminium window was inserted.

8. On the north side, around 2000, two new apertures were inserted in the north wall to install two full-length french windows, to increase light within the house and give ready access to side garden. This included insertion of metal frames within the walls, to reinforce and ensure structural stability, and the application of broad wooden surrounds to cover the metal frames.

9. The above examples of significant alterations to the exterior structure of the house demonstrate that, contrary to the consultant's heritage proposal report, this is not an intact historical example of this type of house.

10. Serious error of fact quoted in consultant's report and published on Council website — this matter of concern was raised with consultants and Council representatives during meeting 10 Dec 2018 and a request made that this serious and damaging error be removed.

The heritage draft report proposal published on Council's website quotes an erroneous student report that "The house now being repaired has suffered considerable structural problems with large cracks around many of the openings." This is categorically not true. The 2000 renovation — to introduce more light by insertion of two french windows on the north wall — was not in any way associated with structural problems. Indeed, quite the opposite — the gaining of expert engineering advice, construction of metal supports, insertion of elastic joint, and provision of underground concrete supports, all supervised by architect, were all carefully designed and engineered to ensure highest levels of stability and avoid any cracking or structural problems.

.....//

### Submission #3

**From:** [REDACTED]  
**Sent:** Monday, 17 December 2018 12:28 PM  
**To:** Nia Kolokas  
**Subject:** Heritage [REDACTED]

Dear Ms Kolokas,

We had a brief meeting on the 12<sup>th</sup> December for half an hour.

The purpose of the meeting was for me to understand what (a) The "Gap" meant in the "gap study" (b) How this gap study (stage 2 of the Moreland Heritage O/L implementation) was applied to Unit 1 and (c) How the gap study instigated another thrust to implement a Heritage Overlay on land [REDACTED] because The Victorian Minister for Planning had already exempted Unit 1 and all of the surrounding property from the Interim Controls application made by Moreland Council. I believe this was because of the arguments I put forward in my appeal and challenge to The Heritage Report made by Context Heritage Pty. Ltd. Please refer 5 emails sent to Ms Nia Kolokas dated 23/11/2018.

There were 3 other council officers at the meeting (apologise for not remembering their names) all of whom stated that they were unaware of the past activity relating to [REDACTED]

It is also important to point out that according to the Context report the City of Moreland Heritage Council had in 1999 conducted a heritage study at this address and found that the buildings did not warrant a Heritage O/L.

At the meeting I gathered the following;

- (a) The "Gap" meant an incomplete or an open area in the previous Heritage study that required further investigation for completion or confirmation.
- (b) The "Gap Study" was meant to address – In this case the heritage value of [REDACTED] Because the previous study entitled " Heritage Assessment – Bluestone Out Building at [REDACTED] (allegedly concentrated on The Out Building but had not fully studied the House)

(c) The council officers thought that The new study entitled "House & Bluestone Outbuilding, [REDACTED] - Prepared by Context Pty. Ltd. That was uploaded on to the C174 Amendment website, Was a new study. I had down loaded this alleged new gap study from the website and found that apart from the cover page, removal of some material and deletion of page numbers the content were the same as the original Context report entitled "Heritage Assessment - Bluestone Outbuilding dated 11 February 2016"

The conclusion that I came to at the meeting (undisputed) was that there has been no new study or evidence that would warrant the overturning of the decision already made by the Victorian Minister for planning.

I also informed the officers that a new planning application was being prepared at a substantial cost (not to mention that past rejected planning applications costs of about \$30,000). The officers requested that I submit the new plans ASAP and also a submission opposing the inclusion of [REDACTED] in the C174 amendment. I was to email this directly to Ms Nia Kolokos ASAP.

### **The submission against the inclusion of [REDACTED] C174 Amendment Proposal.**

Moreland Council made an application to the Department of Environment, Land, Water & Planning in February 2016 to implement interim heritage control over The Bluestone House [REDACTED]. The Department of Planning approved individual interim controls on the Bluestone Outhouse but rejected the Heritage Controls on the Bluestone House. They categorically stated that the surrounding land [REDACTED] could be developed subject to council planning permit. However Moreland Council applied Interim Controls over both [REDACTED] and gazetted C162 amendment in May 2016. After I pointed this out in 2017 to the Moreland Unit Manager Amendments - City Strategy and Design Branch, they admitted an error and undertook to correct it as part of the Gap study. (Refer attached email from Kim Giaquinta dated July 3, 2017)

But instead of a correction and removal of [REDACTED] O/L the complete opposite has occurred. C174 amendment seeks to uphold the original error (against the direction by the Victorian Minister for Planning and implement Heritage O/L on [REDACTED] without any new study or evidence. These past events should have been noted in the Gap study but they were not.

So, let me please ask you that if you believe that the amendment C174 has identified [REDACTED] by mistake please inform me ASAP so that we do not stress unnecessarily until March or April when the facts are presented to the Councillors. This decision will affect our retirement income enormously.

As promised I have also attached my previous letter of appeal to the Victorian Department of Environment, Land, Water & Planning, for your information although a copy was submitted to the council at that time – Refer attachments above.

### **Please allow me to clarify further; The fundamental issue that I have with respect to the Context report is that;**

Context stated that they have followed assessment methodology "in accordance with Heritage Victoria Guidelines". Refer "Moreland Heritage Gap Study by Context, Page 10 – Chapter 1.2 – Stage 2 Methodology. However there is no evidence that the process recommended by Heritage Victoria for assessing the cultural heritage significance of places and objects has been followed by the author. This process involves 3 steps which includes a list of exclusion guidelines as well as illustrative examples to be applied to 8 (A to H) assessment criteria.

The guide lines also states that the criterion is for any member of the community, heritage assessors and statutory decision makers who are nominating a place or object for heritage significance. Yet there were Community members (petitioners), Council Members and Heritage experts who failed to apply a basic process prior to the heritage nomination of [REDACTED]

Context report alleges that the eastern wall (actually north-eastern) shown on figure 8 compares with figure 9 and is remnant of Glengyle (as discussed at the meeting). In the current building, one wall faces north-east and the other (where the entrance to the house is) faces south-east. Both walls are of bluestone with similar rendering. Both walls have the same foundation - alleged Victorian (pre-1900). They both have similar windows. The entry door and door frame appear to be matching the windows and built at the same time. – alleged Victorian. So why was the assumption made that only the north-eastern wall is remnant of Glengyle? The reason I believe is that north-eastern wall has no details to compare with but the south-eastern wall clearly does. The SE wall shows that there is no

comparison between the drawings of Figures 8 & 9 and the photo of Figure 5 and the current building. The alleged "sketch of the eastern wing of Glengyle" in Fig. 8 and the building sketch on Fig. 9 is not clear evidence that the current building has used a remnant wall of the Glengyle Mansion. Refer page 25 , chapter 7 of The original Context Heritage report dated Feb 2016 provides references for Archival sources used in the report and left out of the Gap Study Citation; it reveals that the title for Figure 8 is "MMBW. Field survey book no. 796,[n.d.] (VPRS 8600,P001, Unit 46, Public Record Office of Victoria". It does not have the author's addition of "sketch of the eastern wing of Glengyle".

Furthermore, Please refer page 24 of the citation – 6.2 Recommendations point 4 – ‘ a file on compensation paid to David Moore (1854) for sewerage and drainage purposes in 1857 held at PROV (this may refer to the 19<sup>th</sup> century bluestone drain that runs along the lane on the north side of the subject outbuilding and therefore may include a plan of the site in 1857)

It was clearly meant to be a drainage when it was built, judging by it's drain-like, concave surface and steep slope and large tiered steps at the bottom leading to the creek. (this section could not have been a 'laneway for pedestrians' as alleged by the Context report).

If one assumes that the MMBW sketch in Figure 8, (page 9 - citation) is of the alleged east wing of Glengyle Mansion, then the rest of the 15 room Mansion of the rich would have been built towards the west and the north of current Unit 1. Also The Mansion of the Rich would have been over the top of the Sewerage Drain!. At best it would have been right next to the sewerage drain. Not a plausible hypothesis.

A further anomaly to this claim is the geometry of the sketches and the current building. In the figures 8 and 9, if you extend the line of the south-eastern wall towards the north-east and the southern wall of the Outhouse eastwards, they intersect at about 3 meters (same length as the southern wall on the Outhouse) to the east from the corner of the Outhouse. If you do the same exercise with the current building the intersection point is less than a meter. Therefore the location and orientation of the current building and it's bluestone walls do not coincide with the location of the alleged east wing of Glengyle. There is strong evidence here that Context author has attempted to miss-lead the evidence by the insertion of 'Sketch detailing east wing of Glengyle" into the reference title under the figure 8.

The current building probably was built after 1916 with the bluestone left after the Glengyle fire. There were lots of blue stones, including parts of sculptured and damaged stone that were left in piles on the site. It is also possible that even the Outhouse was built from left over Bluestones. It is a farfetched assumption to state that a remnant wall from a double storey mansion that was gutted by a fire and remnants deemed structurally unsound and demolished be used in a new single storey building.

The 'Vitorian Heritage Assessment Criteria & Threshold Guidelines' state that quote "The act of determining whether a place is of cultural heritage significance is often criticised as being a subjective exercise...However, the process of assessing cultural heritage significance is a rigorous and objective one that is guided by the principles of The Burra Charter" unquote.

It is clear and imperative that the correct process be applied to the heritage assessment criteria in order to be objective as much as possible and not be miss-led by assumptions and inferences.

I would like to say that subjectivity can leave room for assessors to make conclusions that will lead to erroneous and damaging decision making that will cause grave injustice to a land owner. In the case of [REDACTED] The financial loss to the land owner would be over \$70,000 income per annum and about 15% or \$375,000 capital appreciation per annum. The loss of revenue to the Moreland Council would be approximately \$8,500 per year in land tax and about \$7000 in rates. Not to mention loss work for the builders and the subsequent loss of tax revenue for the government.

Attached please find my own application of the Criteria and Threshold Guidelines to the Context Report in order to highlight the speculative nature and lack of clear evidence in the Context conclusion that the house, [REDACTED] carries remnants of the "Glengyle Mansion".

Please let me know if I still need to submit this officially through the C!&\$ website.

Regards

[REDACTED]





## Submission #5

C/174

Moreland City Council,

Strategic Planning Submission to  
Amendment C174.

18<sup>th</sup> December 2018.

To whom this letter may concern,

I am writing this letter, strongly objecting to my property at [REDACTED] being listed on the heritage list. My wife, [REDACTED] also objects.

Had I being aware of the proposal to list it on the heritage list, I would not have purchased the property in the first place. In fact, I've known of properties where prospective buyers (this does not just include developers) have lost interest in a property or refused to bid at auction, once they have realised that the property they are interested in purchasing is listed as heritage, subject to a caveat or any other restriction. I have been a witness to such sales. Estate agents whom I have spoken to are willing to testify to this fact. One of them is Jamil Allouch of Ray White Real Estate in Brunswick. Another is Luke Piccolo of Woodards, just to name a few. Luke has also sent me a letter to express this fact and I have enclosed a copy of the relevant page where he states that "Restrictions on the use of land have a real effect on the price achievable for a property." He then goes on to explain why this is the case and the effects of this.

Additionally, I believe a heritage study was conducted by council for the city/suburbs concerned a number of years ago. My property was not mentioned. I also perused the Heritage Status Update, dated April 2018, and it did not mention my property. The proposal to list [REDACTED] [REDACTED] was only recently drawn to my attention via a letter from Council.

Furthermore, as you would already understand, once a property is listed as heritage, it can be subject to the following: rising insurance costs, costly maintenance as it must strictly adhere to heritage laws, become worth less than what it would if not listed as heritage (monetary loss) as it becomes less attractive to buyers.

[REDACTED] regardless, has been altered. The original terra cotta roof has been replaced by concrete roofing. The original brickwork has also been painted and the house has been subject to many other alterations (both internally and externally.) The house is also subject to rising damp and cracked walls. This can potentially cause structural issues in future.

In conclusion, [REDACTED] I strongly believe that, as home owners, our rights will be trampled on if council approves of the heritage listing. I am the one who is paying the mortgage, insurance costs and other costs related to the property. Is council or who ever has proposed that our property be listed as heritage willing to cover us for any of these costs or for any loss of the property's monetary value? When I met with relevant staff on the 10<sup>th</sup> of December 2018 (2 pm appointment) and asked these questions the response was "no" and that any loss would not be covered.

I have sought professional advice and request that council respect my rights and intentions, as property owners. I am paying this property off via hard, honest work.

We intend to challenge any intention of listing our property as heritage and will continue to object your heritage proposal.

Thanks for taking the time to read this letter. My details are as follows:

[REDACTED]

*[Handwritten signature]*  
[REDACTED]

*[Handwritten initials]* [REDACTED] (*[Handwritten text]*)

RECEIVED  
18 DEC 2018  
MOORELAND CITY COUNCIL

RECEIVED  
18 DEC 2018  
MORELAND CITY COUNCIL

Friday 14th December, 2018

From:  
Luke Piccolo  
0412951273  
(Licensed estate agent)

Mr G Ahmer  
70 Rennie Street  
COBURG VIC 3058

Dear George

**17 Glenora Avenue, COBURG**

Thank you for inviting Woodards to inspect your property and advise you of our opinion of its' current market value as well as provide some advice in relation to how a heritage overlay or individual heritage listing would affect its value.

**Heritage Advice**

By their very nature the application of a heritage overlay on a streetscape or the addition of an individual heritage listing on a property is restrictive. Restrictions on the use of land have a real effect on the price achievable for a property. An incoming buyer that would like to undertake a contemporary renovation may be unable to carry out the extension they hope for. Equally if someone was to want to demolish the building or extend to the front of the block, this may also not be possible. This, along with the exclusion of property developers as potential buyers could affect the value of your property. While it is impossible to quantify the amount by which this could devalue the property, the reality is that we run into buyers every week that consider a property, and decide against it due to the restrictions present. Our advice is that the less restrictions on the land available for sale, the greater the possible value due to the flexibility and opportunity offered to the incoming buyer.

**Appraisal - The Current Market Value**

This next section relates to the value of your property in the current market. There are three ways to value property:

- The Summation Method
- The Capitalization Method
- The Comparable Sales Method

Whilst we use all three when valuing your home, the most relevant and accurate method to you and your property is the Comparable Sales Method. When selecting comparable sales to guide us in the value of your property we consider the following factors; position, proximity to infrastructure, construction type, age/period, accommodation, land size and sale date. We have researched numerous sales and have identified the following properties as being the most relevant in terms of establishing a likely selling range for your property.

Please Read

\*

\*

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## Submission #6

Giovanna Palma

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**From:** [REDACTED]  
**Sent:** Wednesday, 2 January 2019 10:35 AM  
**To:** Strategic Planning  
**Cc:** [REDACTED]  
**Subject:** Amendment C174

### Submission re: Proposed Amendment C174 to the Moreland Planning Scheme

As residents directly affected by this proposed amendment, we write to strongly support the proposed changes as they apply to the [REDACTED]

All properties in this precinct were constructed in the 1920's, and are of consistent style and appearance, thus marking a unique streetscape. These values are enhanced by the street being closed to through traffic and an ensuing peacefulness and sense of containment. The common nature of the housing is integral to the sense of neighbourliness and good relationships in our street.

The proposed changes will not only assist in retaining these values, but preserve the qualities of existing and future developments to the homes. The majority of houses have already been renovated in ways which respect the streetscape; we look forward to future renovations in the street conforming to this standard.

[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]

## Submission #7

8 January 2019

### Submission to Amendment C174

As the owners of [REDACTED] we oppose the amendment of a permanent heritage overlay on our property.

Our house was built in 2004, is a modern cement/ brick construction and has no features at all that would require heritage protection (see attached photo of the facade).

We feel that our property should be exempt from this heritage overlay and see no valid reason for it to be included.

We very strongly oppose the inclusion of [REDACTED] in this amendment and urge council to reconsider its inclusion.



[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]

## Submission #8

**From:** [REDACTED]  
**To:** Strategic Planning <StrategicPlanning@moreland.vic.gov.au>  
**Subject:** Submission to Amendment C174 Thursday, 10 January 2019 2:05  
**Date:** 2:05 PM

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**From:** [REDACTED]  
**Sent:** Thursday, 10 January 2019 2:05 PM  
**To:** Strategic Planning <StrategicPlanning@moreland.vic.gov.au>  
**Subject:** Submission to Amendment C174

Hi there,

My name is [REDACTED] and I am the owner of the Property of [REDACTED]. After the meeting on Wed 12th of December with Council Planning officers discussing the proposes for the Heritage overlay, I was asked to provide a building report on the property and the condition it is in and whether it is safe and deemed repairable.

Attached is the building report and some images. As I discussed in the meeting I agree with houses to be Heritage listed, however, my house is too unstable to be repaired and should not be considered as a Heritage listed house.

Please reply to my email so I know you have received the information you need

Thank you, kind regards

[REDACTED]

## BUILDING REPORT

Date: 10-1-2019

CLIENT: [REDACTED]  
ADDRESS: [REDACTED]  
[REDACTED]  
3795

INSPECTION  
ADDRESS: [REDACTED]  
[REDACTED]  
[REDACTED]

Building inspection has been carried out at the above address. The purpose of this inspection is to assess the structural integrity of the dwelling. The construction of the dwelling is of solid brick walls, internal and external. Solid timber pitched roof, with terracotta roof tiles. Timber windows. There is an addition to the rear of the dwelling which consists of timber walls and weatherboard cladding.

Upon inspection there were many issues found with in the dwelling that was of concern. Large cracks in brickwork, timber roof rafters rotted due to the roof leaking. Windows not opening. Movement in the internal flooring. Plaster with water damage.

### DISCRIPTION

#### Roof Leaking

Terracotta roof tiles are very brittle which has cracks that has caused water leaks. The tile break under foot. Roof tiles need to be replaced completely with new

#### Roof Rafters

Timber rotting in roof rafters need to be removed and replaced with new. ( Roof tiles need to be removed and replaced.)

Date: 10-1-2019

## Water Damage

Ceiling Plaster needs to be removed and replaced with new.  
( Needs to be done once roof works have been completed)

## Windows

Windows are not functioning correctly due to movement in the foundation of dwelling.

## Brickwork/Foundations

The movement and cracks found in the brick work is due to the foundations moving and dropping in different areas of the dwelling and creating inconsistent levels, internally and externally. Underpinning of the foundation would be required to correct this issue.

Underpinning has been attempted previously to no success. In the process of underpinning the old foundation when lifted would break and the process would be unsuccessful. The foundations of the dwelling has no steel reinforcement and the structural integrity of the concrete is of minimal strength.

## CONCLUSION

The building inspection carried out at 19 Glenora Avenue Coburg has found a major structural issue with the buildings foundation. Due to previous attempts by the owner to underpin the foundation which had no success, to attempt the underpinning again would have the same outcome. Any contractor/Builder who would attempt the process of underpinning would not give a guarantee that it would be successful. There for none of the other works would be able to be carried out as the foundation are the main course of some of the issues outlined.

It is deemed the foundations are unrepairable.

Kind Regards





Image 1

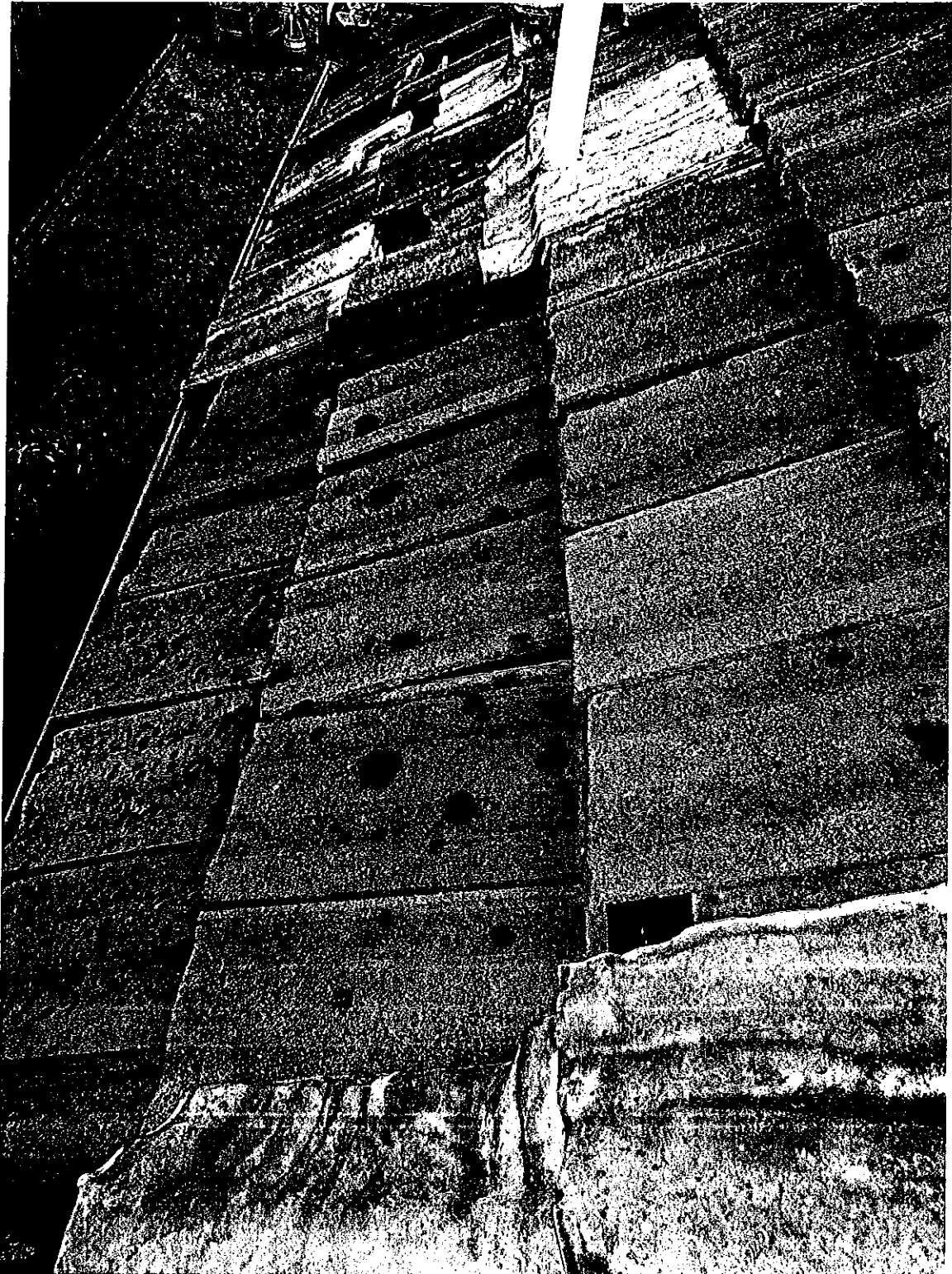


Image 2

**Submission #9**



09.01.2019

Marie Claire O'Hare  
Strategic Planning submission to Amendment C174  
Moreland City Council  
Locked Bag 10  
Moreland VIC 3058

Moreland City Council  
RECEIVED  
11 JAN 2019  
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Forwarded to  
M Claire O'Hare  
Copies to

Dear Planners

Thank you for the notification and the heritage consultant report regarding the proposed inclusion of our property in the Heritage overlay amendment. We took part in a consultation meeting with the Planners and the heritage consultants on Monday 10 Dec 2018.




In reading the report on the three terraces [redacted] we appreciate that they are old buildings but we do not agree on their assessment that they are significant and that they deserve to be included in the Heritage Overlay. We disagree on the proposed Heritage overlay for the following reasons:




- The three terraces are isolated in scale and context in the current Barkly Street.
- Whilst the slate roof is intact on the front elevation, it does not warrant special historic reference for its construction nor material selection.
- The 2 tone brickwork on the original facade has lost its unity because of the other alterations over time. This includes the changed shapes and sizes of the verandahs, the differing fence treatments and one of the three connected terraces being totally painted. The two tone brickwork does not continue beyond the front facades.
- The shared roof space contributes to poor acoustics, poor thermal performance and a fire risk. It is not considered acceptable for a modern residential building.
- The land size of each terrace is small and unlike other listed Building in the municipality which are large scale and on large parcels of land. Future development on this site will be further inhibited by the restrictions of the Historic Overlay and exacerbated with the lack of space to the rear of the site for building extension and modernization.
- The existing bluestone footings are already showing signs of significant movement and instability. This is also contributed by a large gum tree planted by Moreland Council outside [redacted]
- Placing these three terraces in a Historic Overlay of significance, will be onerous for each of the three property owners. Because the three terrace building is not on one title, it is highly unlikely any future development(s) will be co-ordinated and agreed by all the property owners. Developing one and not the other two will further undermine the historic references across the building.
- The site is small and the current terrace cottage planning and slate roof places huge restrictions on any future 2 storey development to the South.

All property owners of the three terraces are in unison by requesting Council **not to support** the Historically significant recommendations put forward by the Heritage Consultant - Context P/L

I have attached some photos ( 1 to 8 inclusive) of my property at 210 Barkly street, in support of the case above.

Thank you for the opportunity to express these concerns.

Signed   
 

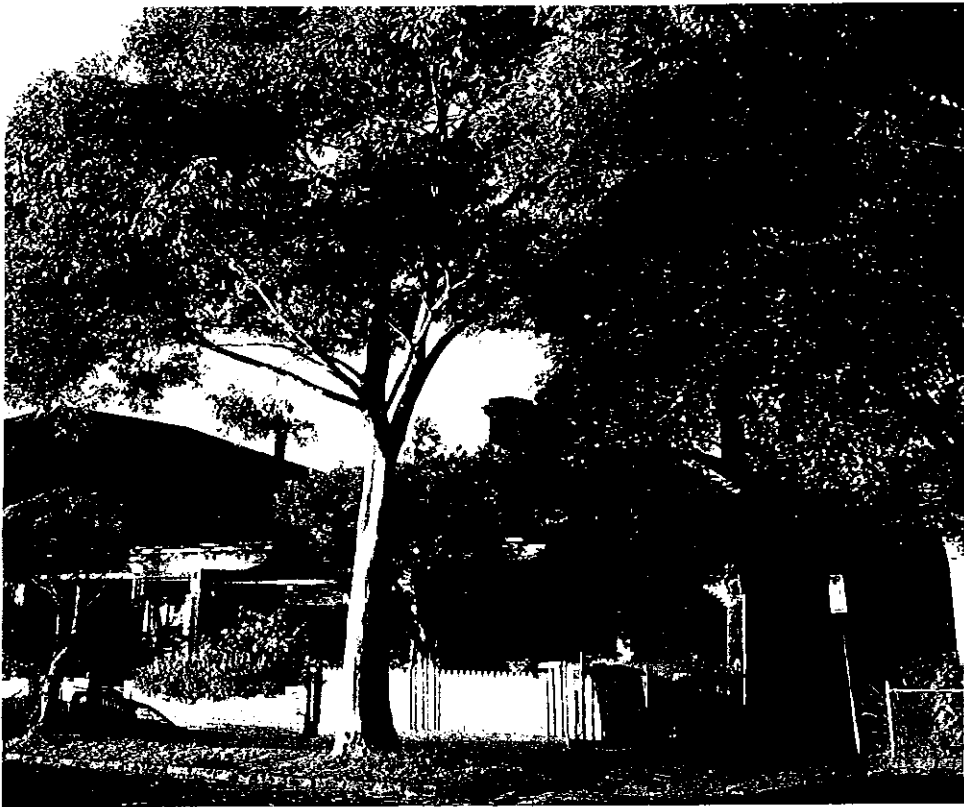


Photo 1 Front view of 210

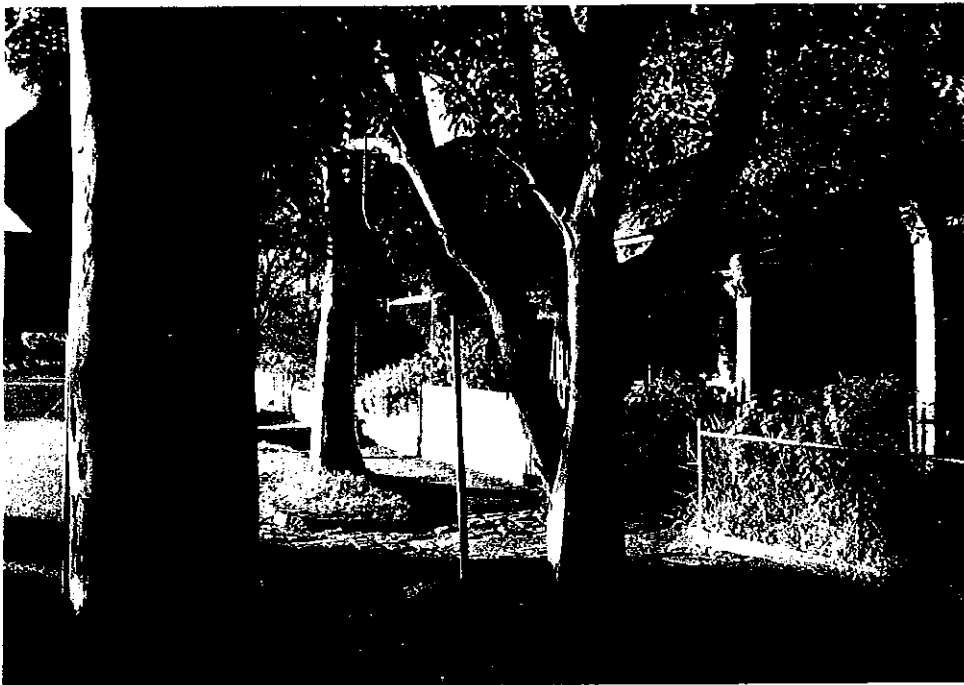


Photo 2 Side view looking West of front to 210

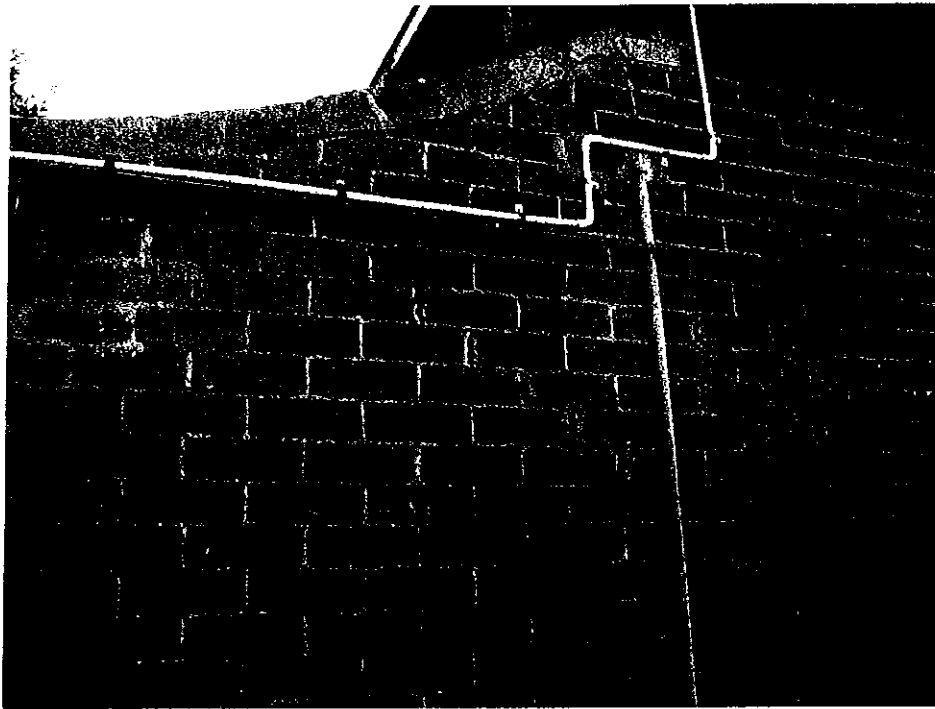


Photo 3 Wing wall to verandah of 210

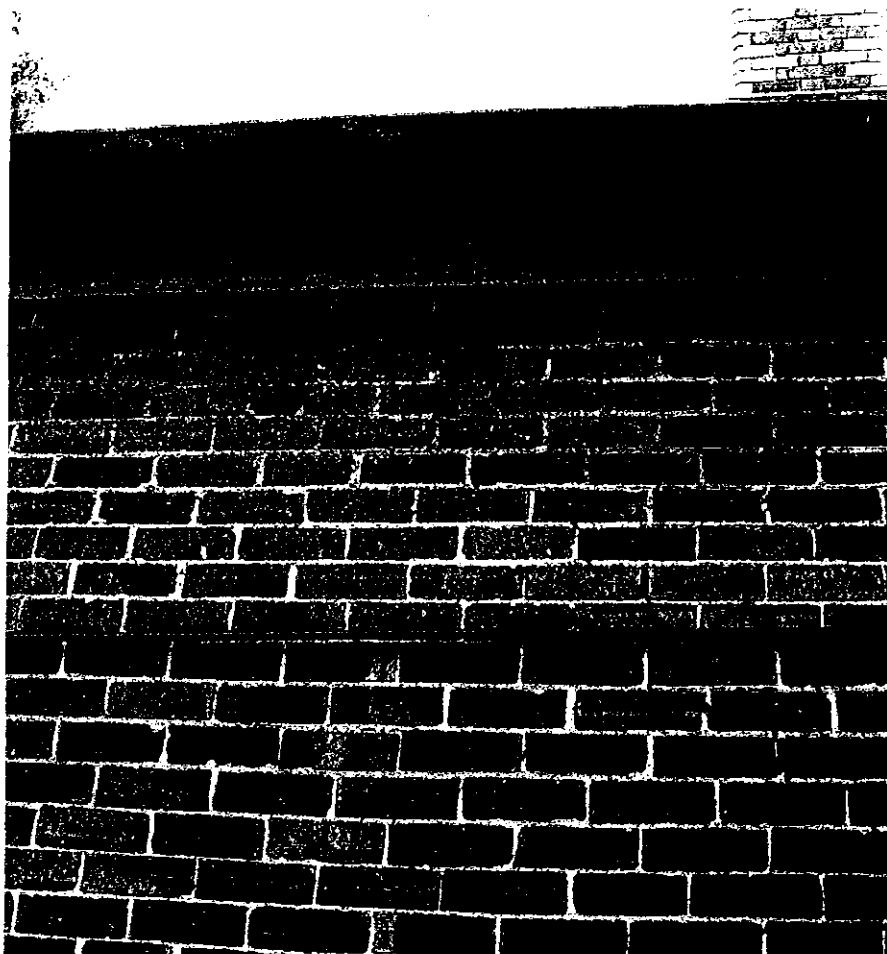


Photo 4 Brick wall to laneway beside 210



Photo 5 View from laneway to front of street



Photo 6 View of laneway beside 210

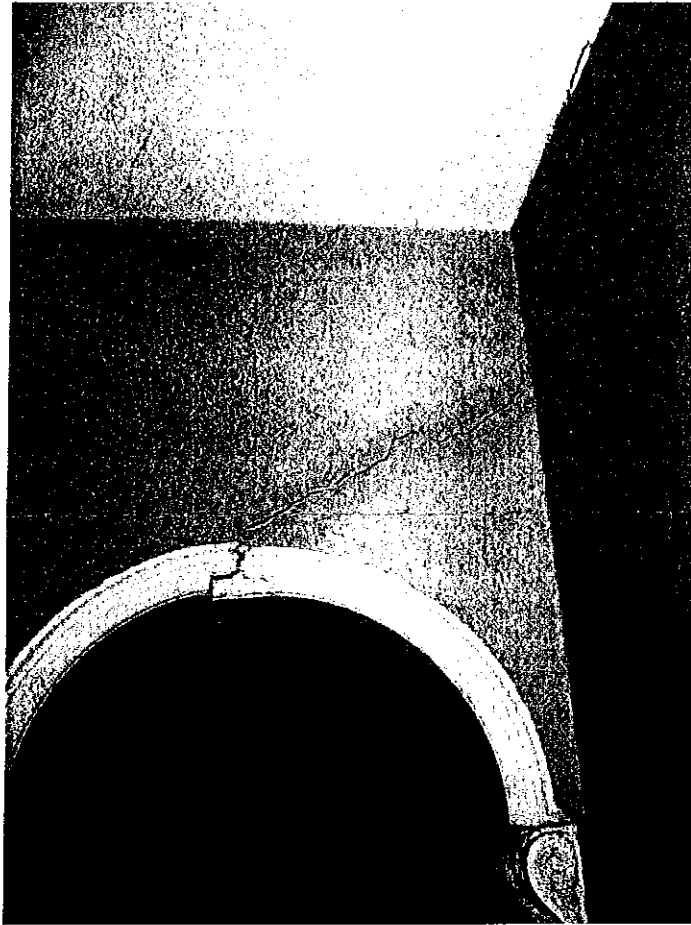


Photo 7 Interior movement of walls, footings in 210

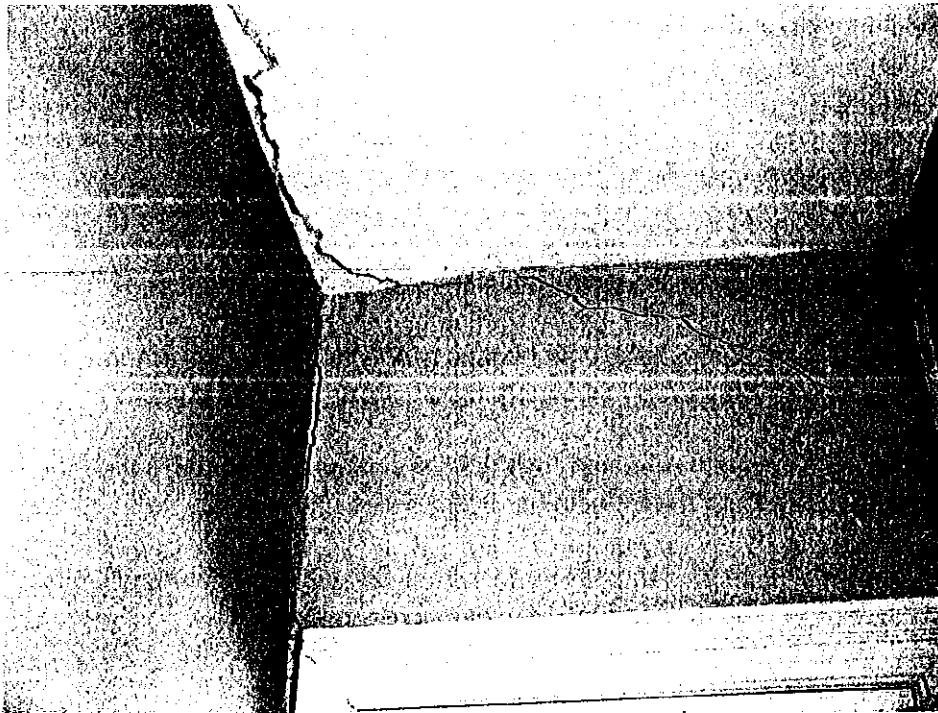


Photo 8 Interior movement of walls and ceiling in 210

**Submission #10**



7<sup>th</sup> January 2019

Marie Clair O'Hare  
Strategic Planning Submission to Amendment C174  
Moreland City Council  
Lock Bag 10  
MORELAND VIC 3058

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Dear Planner

**Amendment C174**

We wish to advise you of our strong objection to the Heritage consultant report regarding the proposed inclusion of our property for the Heritage overlay amendment C174.

At a combined consultation meeting with the Council Town Planner and your Heritage consultant, the 3 property owners of 206, 208 & 210 attended Coburg Council office on Monday 10<sup>th</sup> December 2018. In this meeting the consultant spoke about the three single storey properties under one slate roof with no parapet separation for reason of Heritage overlay. The two tone brickwork on the front facade was also mentioned several times.

We find the justification given for the Heritage overlay inappropriate as follows:

 has changed a lot since the original building was constructed. The terrace has no longer got a presence of scale material, character nor context amid the various building masses and style in the street. It is dwarfed by its surroundings and its historic context is not noticeable.

The major modifications to the roof are significant with the removal of two chimneys from one properties which will never be replaced. The condition of the old slate roof is also in a poor state due to its age.

The shared roof space has inadequate thermal and sound quality and is fire hazard by modern building standards. The Heritage overlay restricts all owners to install Solar panels to their north facing roof area.

The original facades have considerable changes, by the painting & rendering to front of brickwork. The removal of original verandahs and all three dissimilar front fences.

The Historic overlay has significant impact to all three terrace owners financially and limits any future developments with small block size and the limited space at rear of properties.

The existing enormous gum tree which was planted by the Moreland City Council in front [REDACTED] has caused mounting damage to our walls and structure to both properties [REDACTED].

We compassionately request the Council to not support the Heritage Overlay of significant importance recommendations put forward by the Heritage consultant-Context P/L for the properties of [REDACTED] [REDACTED] not to be granted.

Regards

*200*  
[REDACTED]  
[REDACTED]

[REDACTED]  
[REDACTED]

## Submission #11

**From:** [REDACTED]  
**Sent:** Friday, 11 January 2019 1:19 PM  
**To:** Strategic Planning <StrategicPlanning@moreland.vic.gov.au>  
**Subject:** "Submission to Amendment C174"

Hi

I am writing to object against the amendment c174 relating to [REDACTED]

Attached is a word document with pictures that outlines my arguement that the address [REDACTED] does **NOT contribute to the precincts heritage.**

Please feel free to call me or email me if you have any questions.

Thanks

[REDACTED]

To: Strategic Planning

I am writing to object against the amendment c174 which recommends extending HO238 to include 281 Glenlyon rd Fitzroy north.

I am of the strong view that the address 281 Glenlyon road does **NOT contribute to the precincts heritage**.

These are the reasons.

- There is no cultural or natural history, nothing of historical significance.
- It has NO association with any particular community or cultural group for social, cultural or spiritual reasons.
- Has NO association with the life or works of a person, or group of persons, of importance in our history (associative significance).
- It has NO technical significance, it does NOT demonstrate any degree of creative or technical achievement at a particular period.
- The property does not have any degree of integrity due to changes made by the owners.

**Most importantly**

- The house was built in mid 1950's after WW2 and has undergone an extension in approximately 1958 and a further extension in 1980. It can be easily regarded as an eyesore, where I'm sure the neighbours would agree.
- The extension in 1980 included,
  1. The demolition of the rear of the premises including old garage.
  2. The kitchen was moved from the front of the house to the rear of the home.
  3. The laundry was also moved from the front of the premises to the rear.
  4. Roller Shutters were installed on all windows including the front.
  5. Formplex, fake weather boards were installed on the front of the premises where the gable roof is as well as the side wall of the premises covering the asbestos cement sheets. Also, The roof eaves all contain asbestos.
  6. The fence was modified by having metal bars placed on it.
  7. The front side gate erected in the 80s does not suit the original style of the house and reduces the integrity and appeal of the house.

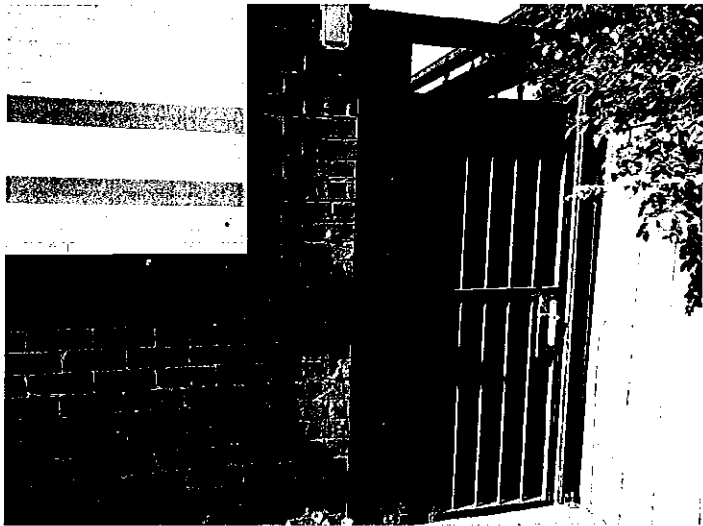
- **The property has significant structural issues where there are problems with cracking throughout the property on the brick work. An inspection by restumpers several years ago revealed foundations to be only 55cm deep around the original part of the property, including the front.**
- The bearers around the circumference of the property have sunk significantly causing the flooring to be uneven.

Below are some pics of 281 Glenlyon rd with some comments

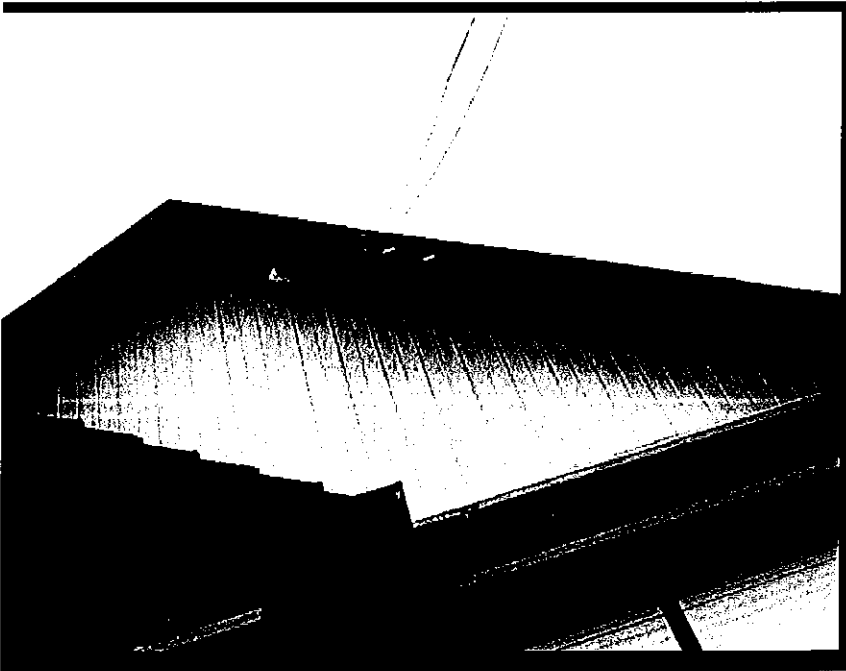
Below, Roller shutters installed in the 80's as well as the iron bars on the fence detracts from the integrity of the house. Its Ugly, an eyesore.



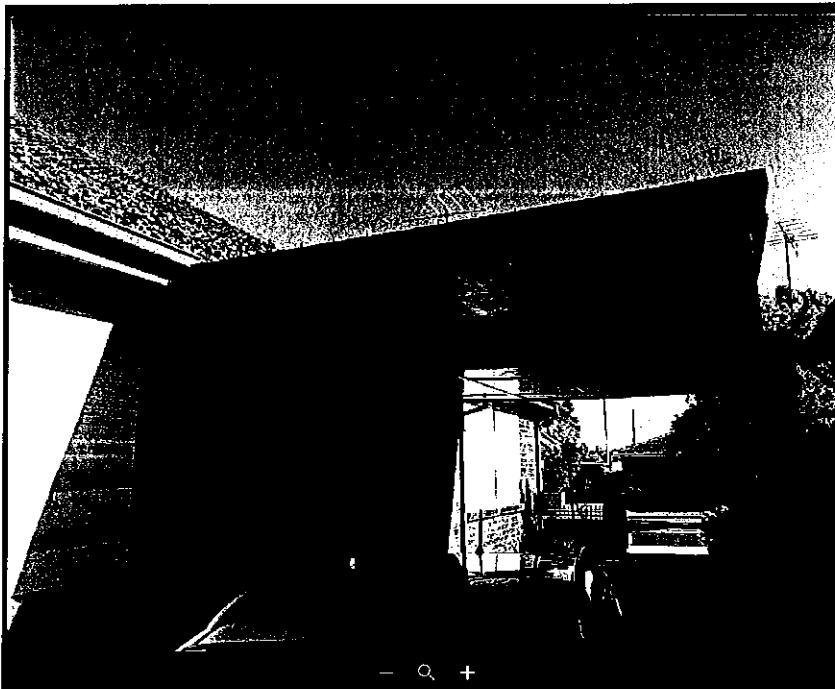
A front side security door was installed in the 80s which degrades the house and is not appealing



Below, Formplex fake weather boards on the front as well as grey flashing detracting from the integrity of the house



Below, View from the driveway, showing roller shutters as well as a front verandah extension done in the 80s which is a flat roof



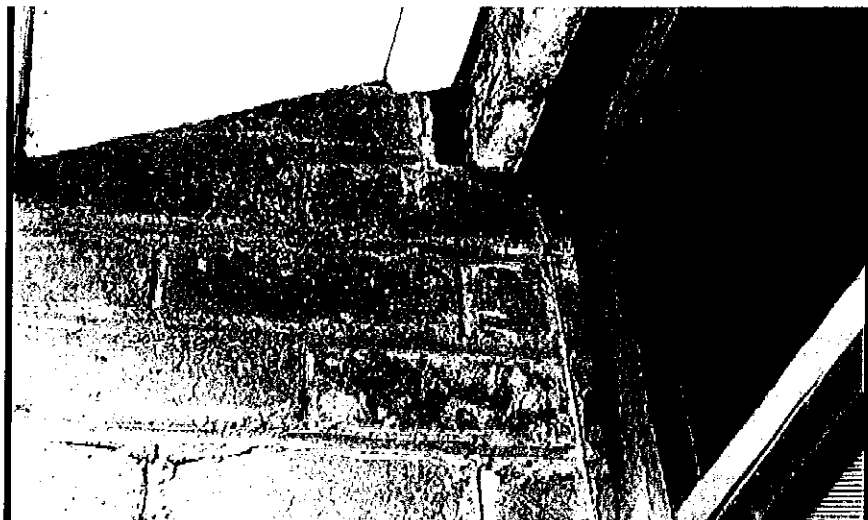
Below, Brickwork to the extension doesn't match existing brickwork.

An additional front door was put to the rear of the premises with an ugly water shelter, verandah and metal door to stop water from hitting the door. Completely out of character.

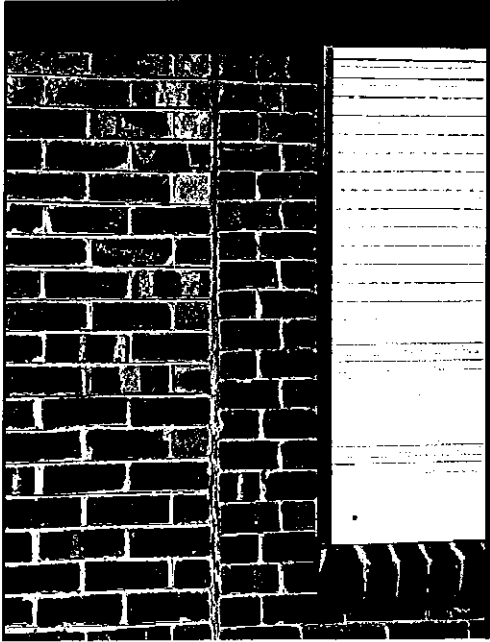


Below, there are pictures that show the property has severe structural problems, where a quote several years ago determined that the foundations were 55cm deep.

It was determined to be very expensive and potentially ineffective if underpinning was to be done at the property.



Below, Some cracking on the walls whilst the pic to the right shows the extension done in the late 50s, which is sinking, see the misaligned brick work to the right.



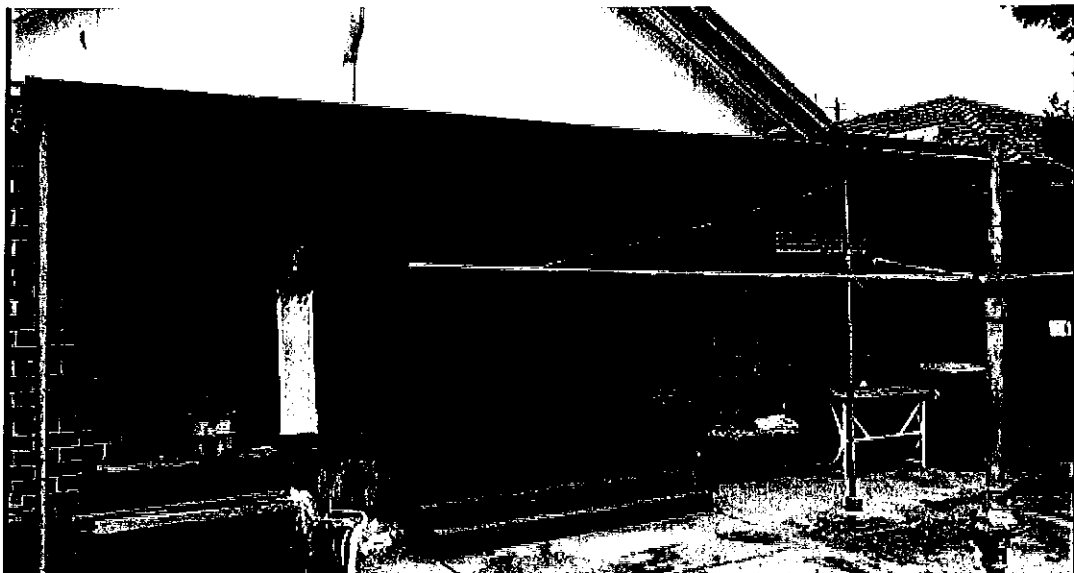
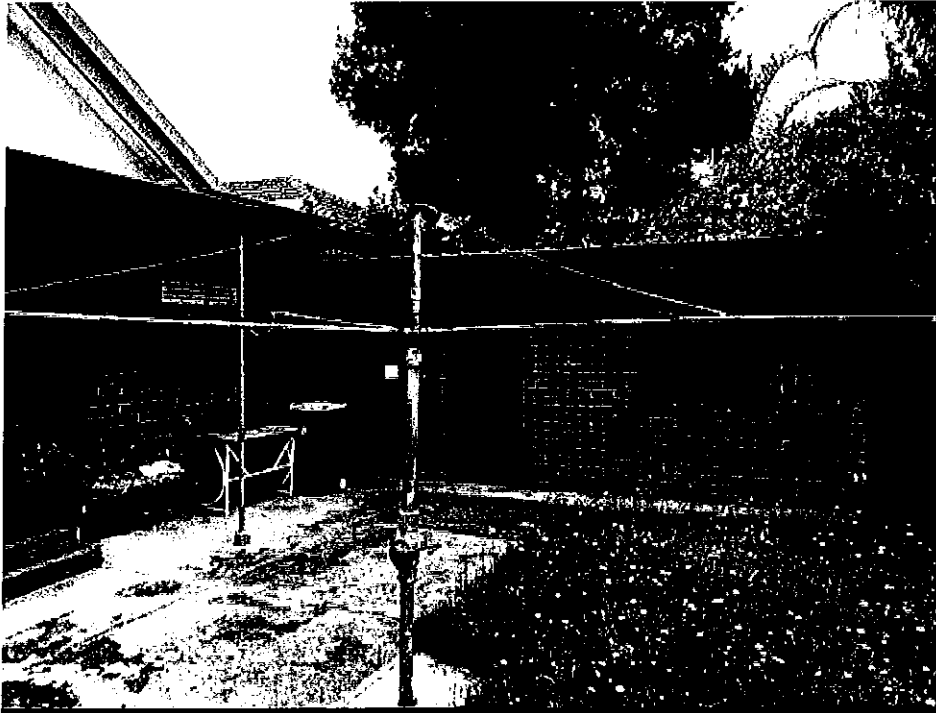
Below, A view of the side of the door showing how the foundation is sinking. Parts of the home was restumped about 5 years ago, but the walls keep on sinking further



Below, View from the side of the house going towards the front of the house. This shows formplex, fake weather boards covering the asbestos sheeting . Again, this detracts from the integrity of the building. Also, the roof eaves above all contain asbestos



View of the backyard, showing extension done in the 80s. The integrity of the home has been compromised



## **Conclusion**

Some other homes in the area are typical late 1930s timber or brick bungalows, but 281 Glenlyon road **doesn't** reflect any of this, being a post war house, built in the 50's extended in 58 as well as the 80s, it has no appeal and creativity. Its integrity has been compromised with all the changes made by the owners.

Furthermore, photos above shows significant structural issues, showing that the home is of a "weak structure". Some restumping took place approximately 5 years ago but the structural problem has become worse over time.

Adding to that, a quote for repair work several years ago found the foundations on the original part of the home to be 55 cm in depth, due to this factor, over time, the property will sink and deteriorate even further.

Given the above and also considering that the property has nothing of historical significance or any other form of associative significance and does NOT demonstrate any degree of creative or technical achievement at a particular period I believe that 281 Glenlyon Rd should be deemed to be **Non-Contributory** to the precincts heritage.

If you have any questions please contact me, on 0417 580970

Thankyou for your time so far

Salvatore and Anna Cosentino

**Submission #12**

**Giovanna Palma**

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**From:** strategicplanning@moreland.vic.gov.au  
**Sent:** Wednesday, 16 January 2019 2:14 PM  
**To:** Strategic Planning  
**Subject:** Amendment C174 submission

A person has submitted this form from the Council website.

**Name:** [REDACTED]

**Address:** [REDACTED]

**Phone:** [REDACTED]

**Submission:** The existing property, in particular, the Mediterranean style porch with arched openings is in a dilapidated state and beyond reasonable repair. Further, the property is of insignificant and or no heritage significance, contrary to its listing in the heritage overlay Amendment C174. The interwar bungalow style residences throughout the Sumner Estate precinct are so few the majority of which having been demolished or significantly altered/renovated that there is no cohesive contribution whatsoever to heritage value.

**upload:** empty

**Privacy:** I agree