

173 -199 ELIZABETH STREET

(FORMER KODAK SITE)



BUILT FORM ANALYSIS

June 2009

Collie Pty Ltd

URBAN PLANNERS | URBAN DESIGNERS | LANDSCAPE ARCHITECTS

29 Coventry Street

Southbank Victoria 3006

Australia

Telephone +61 3 9686 9177

Facsimile +61 3 9686 9898

Email consult@colliepl.com.au

ABN 11 076 755 069



FORMER KODAK SITE BUILT FORM ANALYSIS

1 INTRODUCTION

1.1 PURPOSE

This Built Form Analysis has been prepared in accordance with the requirements of Schedule 10 to the Development Plan Overlay of the Moreland Planning Scheme. The Schedule requires:

"A Built Form Analysis identifying the subdivision pattern and built form character of the surrounding area and recommending appropriate built form outcomes for the redevelopment of the site."

The Built Form Analysis forms part of the Development Plan for the site.

The report focuses principally on the built form character of the area bound by Livingstone Street to the north, Corben and George Streets to the east, and Malcolm, Claremont and Boyne Streets to the south. The report also considers the character of land to the west of the subject site (as far as Newlands Road) and the particular character of Elizabeth Street, which runs in a north-south direction along the eastern boundary of the subject site.

1.2 METHODOLOGY

This report has been prepared following a detailed study and investigation. The study has included a review of the Moreland City Council 'Urban Character Study and Good Residential Design Guide' and Darebin City Council Urban Character documents. The study has also included a review of other relevant background documents; a site visit to record property-by-property details; extensive photographing of the area; analysis and review of base cadastral information and aerial photographs of the site and surrounding area (as supplied by Bosco Johnson Pty Ltd); calculation of specific details such as lot frontages and lot areas; and the collation and analysis of information collected on site.

1.3 REPORT STRUCTURE

The report is set out as follows.

- Section 2: Provides a broad overview of the subject site and the surrounding area and acknowledges existing reports and analysis which have been prepared by the respective Councils.
- Section 3: Identifies and describes four residential precincts and two special study areas, and provides a detailed built form analysis (including photos and illustrations) of each.
- Section 4: Provides a series of plans which relate to the entire study area and which plot information relating to lot sizes, lot frontages, building set backs, building types, building heights and building materials.
- Section 5: Summarises the details set out in sections 3 and 4.
- Section 6: Provides recommendations in relation to the future development of the subject site.



2 BACKGROUND

2.1 THE SUBJECT SITE

The former Kodak film processing facility is located approximately 10 kilometres north of the Melbourne CBD. The facility spans both sides of Edgars Creek and includes a vehicle bridge which links the two parts. It is intended that the land to the west of Edgars Creek be retained for industrial purposes, while the land to the east of the Creek be redeveloped. This report specifically relates to the built form character of the land surrounding the eastern portion of the former Kodak site. Accordingly, and for the purposes of this report, the 'subject site' is that land area approximately bound by Elizabeth Street (to the east), Boyne Street and Ronald Street (to the south), Edgars Creek (to the west) and the rear boundary of the existing residential buildings on Tilley Street (to the north).

The subject site falls entirely within the land area administered by Moreland Council. Land on the eastern side of Elizabeth Street is administered by Darebin Council.

The site is unoccupied, largely vacant and has no formal use or function. The buildings which previously covered a large proportion of the subject site have now been demolished (the exception is the six storey building known as 'Building 8' which is located towards the south of the site near Elizabeth Street).

The departure of Kodak from the site has left a large vacant land area and has created an opportunity to provide sensitive infill development.

2.2 BACKGROUND STUDIES

Both Moreland City Council and Darebin City Council have undertaken neighbourhood character analysis studies including in relation to the area surrounding the subject site. The details of these studies have been reviewed and have informed the nature and content of this report. The particular studies and precincts which are relevant in relation to study area are as follows.

- Precincts 22, 23 and 26 of the Moreland City Council 'Urban Character Study and Good Residential Design Guide' (1996).
- Precinct F9 of the City of Darebin Council Urban Character Study (1998), and also Precinct F9 of the City of Darebin Council Draft Neighbourhood Character Study (2006).



3 BUILT FORM ANALYSIS

3.1 INTRODUCTION TO THE STUDY ANALYSIS

3.1.1 Residential Precincts

This section of the Built Form Analysis includes an analysis of four separate 'residential precincts'. The precincts broadly wrap around the northern, eastern, and southern sides of the subject site and, for ease of reference, are numbered 1-4.

The extent of each precinct was determined following a visit of the study area and a detailed analysis of the collected information. The precincts are of broadly similar physical size and represent logical groupings based on the nature and form of the land and the existing land uses. The precincts also reflect and acknowledge the administrative boundary between Moreland and Darebin Council, which is defined by Elizabeth Street.

The analysis of each precinct is divided into the consideration of its general character, building form, and street form. An introduction and summary is provided for each precinct and various supporting plans and photos are also included. Overall plans (of the full study area) are provided in section 4 of this analysis.

3.1.2 Special Areas

In addition to the 4 residential precincts, two special character areas are also considered as part of this Analysis. These areas relate to the land to the west of the subject site and to Elizabeth Street. These special areas are considered separately from the residential precincts because of their different overall nature and character.

3.1.3 Precinct and Special Area Plan

A plan identifying the extent of the four residential precincts and the two special character areas is provided on the following page.



LEGEND

- Residential Precinct
- Special Study Area

Client
Urbex Pty Ltd

Project
Built Form Analysis
Former Kodak Site

Drawing Title
Study Area Boundaries

Drawing Number
07-6769-004-sk001

Revision
P1

Date
11.07.2007

Drawn
LUM/TMS

Approved
Scale (A1) 1:2000
Scale (A3) 1:4000



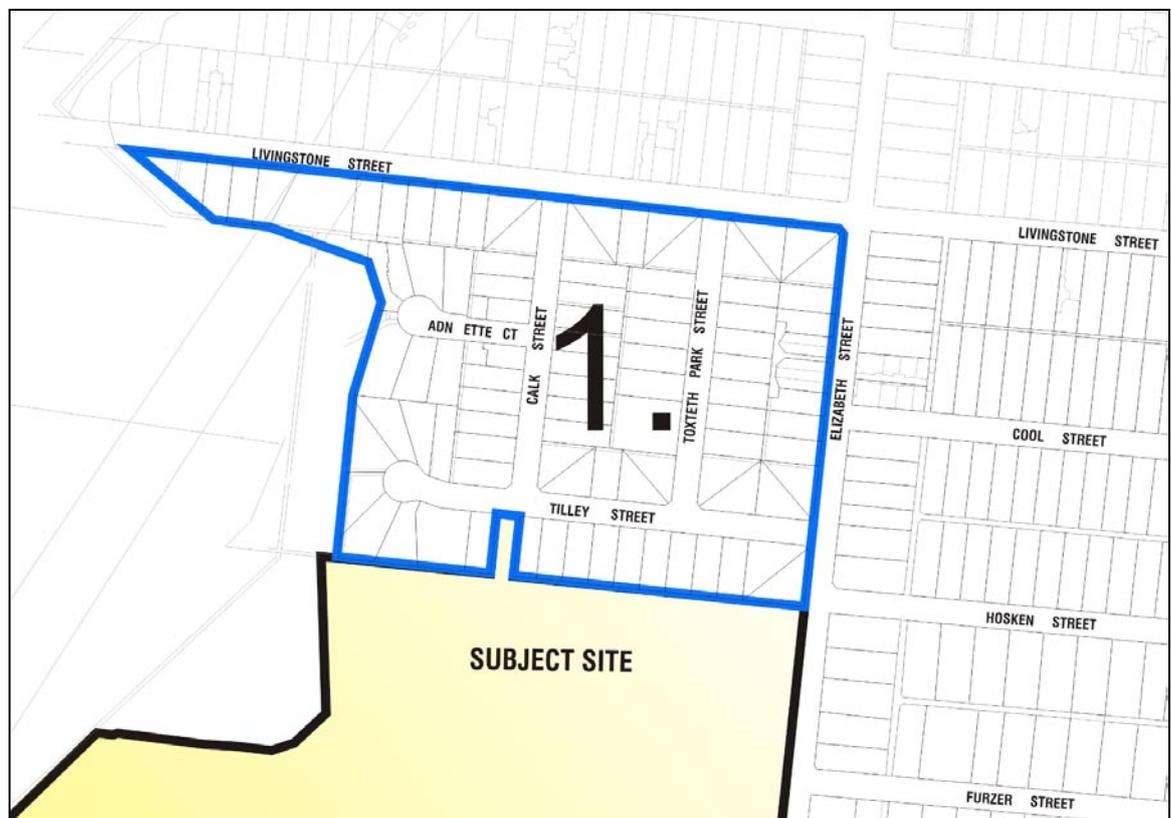
3.2 PRECINCT 1

3.2.1 Introduction

Precinct 1 is located immediately to the north of the subject site and comprises the following streets:

- the southern side of Livingstone Street, west of Elizabeth Street;
- Adnette Court;
- Calk Street;
- Toxteth Park Street;
- Tilley Street; and
- the western side of Elizabeth Street between Tilley Street and Livingstone Street.

The land area is administered by Moreland City Council and forms the southern extent of 'Precinct 23' of the Moreland Urban Character Study (1996).



3.2.2 General Characteristics

Land uses

Predominantly residential. A small terrace of shops are located on Elizabeth Street.

Topography and Subdivision Pattern



The land has a moderate to steep slope from Elizabeth Street down towards Edgars Creek. The slope is especially steep at the western end of the precinct including Adnette Court and Tilley Street.

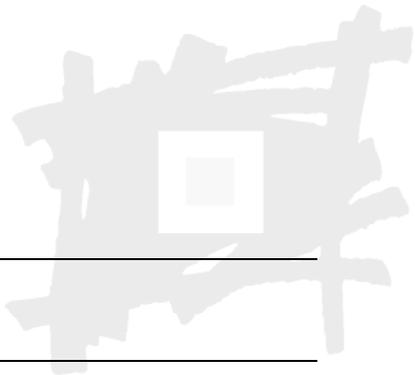
The streets conform to a general grid pattern with Calk Street and Toxteth Park Street running parallel to Elizabeth Street in a north-south direction. Tilley Street and Livingstone Street provide east-west connections. Adnette Court runs parallel to Tilley Street and Livingstone Street (and between the two) and connects to Calk Street. All three east-west orientated streets terminate at the western edge of the study area.

Lot Sizes



Lots vary in size and configuration as a consequence of the irregular street pattern and varied topography. The most common lot size is between 500m² and 600m².

Smaller lots (less than 500m²) exist along Elizabeth Street.

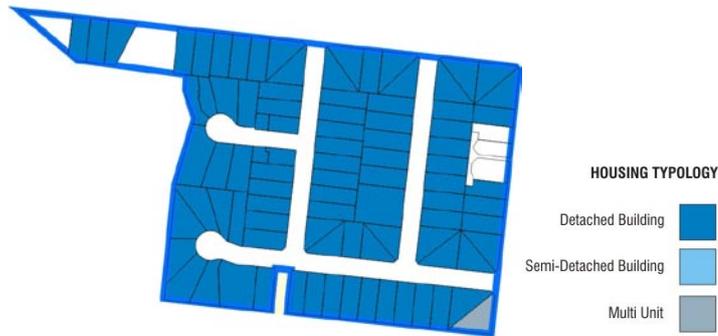


3.2.3 Building Form

Era / Style of development

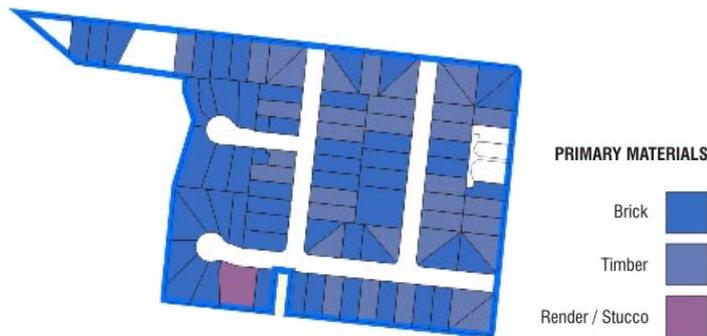
Post war.

Building Type



A new multi-unit development is under construction on the corner of Elizabeth Street and Tilley Street. Otherwise dwellings are all detached.

Materials



Buildings are generally constructed of either brick or timber.

Height



There are a number of two storey buildings particularly at the western end of the precinct where the land falls away towards Edgars Creek. A new development at the corner of Elizabeth Street and Tilley Street is also two storey.

3.2.3 Building Form (continued)

Set backs



Average building setbacks vary from less than 6 metres (on Elizabeth Street) to between 8 metres and 9 metres on the southern site of Tilley Street (adjoining the subject site).

Front Boundaries



Most properties within the precinct, including those adjoining the subject site have average frontages of between 17 and 20 metres.

Individual front boundaries are variously defined but generally include low walls or fences.

Building condition

Buildings appear to be solid and generally well maintained.

3.2.4 Street Form

Roads, Kerbs and Channels Road are generally around 7 metres wide allowing for traffic movement in both directions. Kerbs and channels are constructed of concrete.

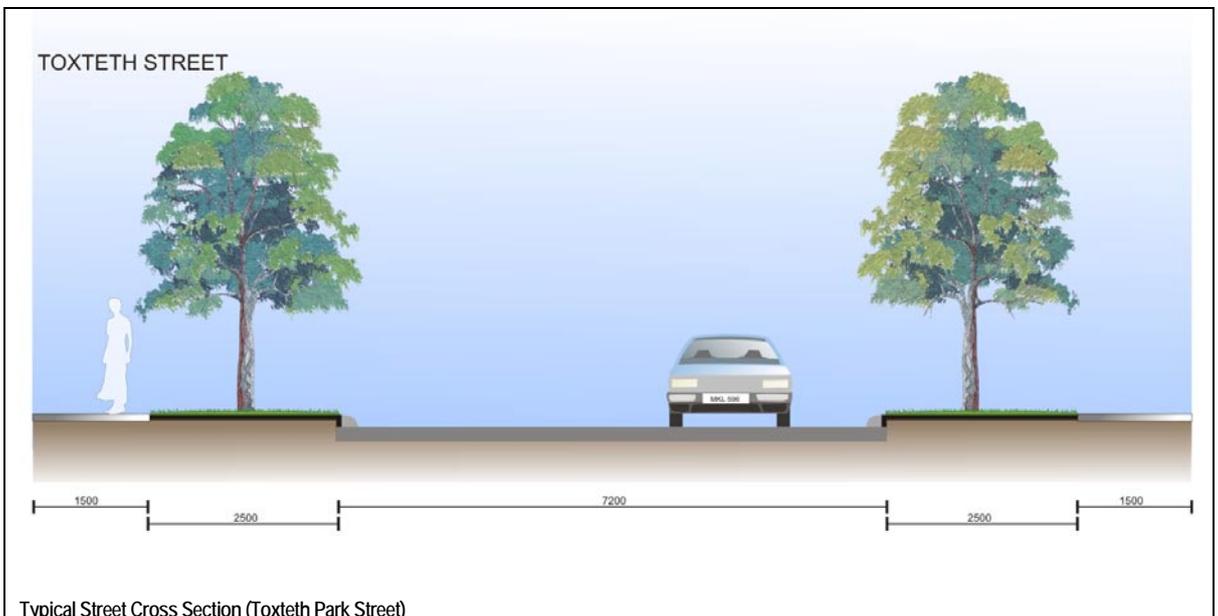
Footpaths / Nature Strip Footpaths and nature strips are provided on both sides of the roads. Footpaths are a standard 1.5 metres wide and nature strips tend to be around 2.5 metres wide.

Overhead services and lighting Overhead services and street lighting are provided along one side of the street.

Substantial pylons and transmission lines are located to the west of the study area and are prominent feature in views towards Edgars Creek and beyond, including along Tilley Street.

Vehicles and Traffic Vehicle traffic movements are low. Some on-street parking is evident however most dwellings have off street parking provision.

Trees / Plantings Street trees are planted within the nature strip.
Residential gardens are varied in character, but generally include lawn and exotic plantings.



Typical Street Cross Section (Toxteth Park Street)



3.2.5 Photos

<p>Livingstone Street looking west.</p>	<p>New mixed-material, two storey development.</p>	<p>Two storey building on Calk Street</p>

3.2.6 Summary

- The precinct is predominantly residential.
- Properties on Tilley Street (immediately abutting the subject site) are orientated northwards, away from the subject site.
- Lot sizes and frontages are mixed in response to the subdivision pattern and, in particular, the topography of the land.
- Buildings are almost exclusively detached, however building materials are varied and there is a mix of single and two storey developments.



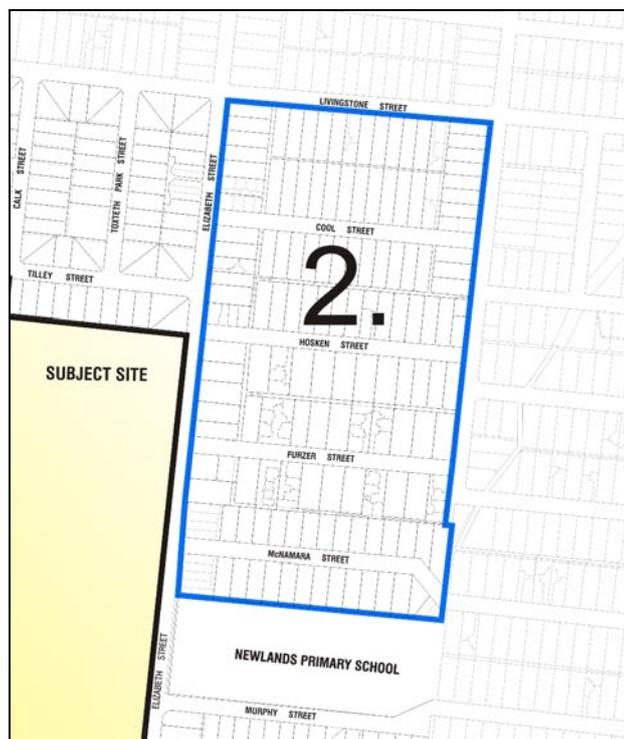
3.3 PRECINCT 2

3.3.1 Introduction

Precinct 2 is located to the east of the subject site between Newlands Primary School (at the southern end) and Livingstone Street (at the northern end). The area comprises the following streets:

- the western end of McNamara Street;
- Furzer Street;
- Hosken Street;
- Cool Street;
- the southern side of Livingstone Street between Elizabeth Street and Corbon Street;
- the eastern side of Elizabeth Street from Newlands Primary School north to Livingstone Street.

The land area is administered by Darebin City Council and falls within 'Precinct F9' of the Councils Urban Character Study (December 1998) and 'Precinct 9' of the Draft Neighborhood Character Study (February 2006).



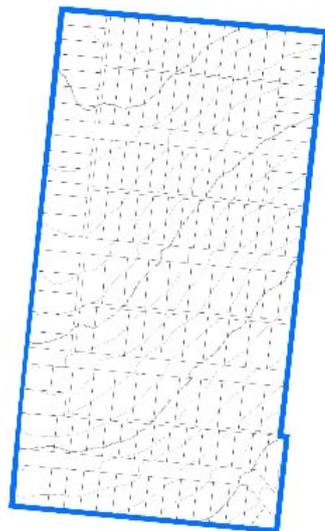


3.3.2 General Characteristics

Land uses

A small parade of shops is located on Elizabeth Street, near the southwestern corner of the precinct. Otherwise the area is residential in terms of use and character.

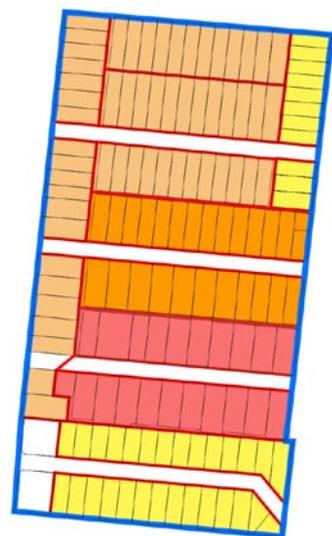
Topography and Subdivision Pattern



The land slopes gently downwards from west to east and from north to south.

The study area comprises a standard grid subdivision pattern, with Elizabeth Street and Corben Street running in a north-south direction and McNamara, Furzer, Hosken, Cool and Livingstone Streets running in an east-west direction.

Lot Sizes

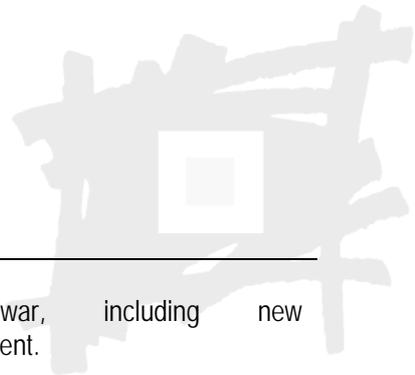


AVERAGE LOT SIZES



There are a number of larger sized lots within the precinct. Furzer Street (averaging between 800m² - 900m²) and Hosken Street (between 700m² and 800m²) are particularly large.

Along Elizabeth Street, properties are an average of between 600m² and 700m².

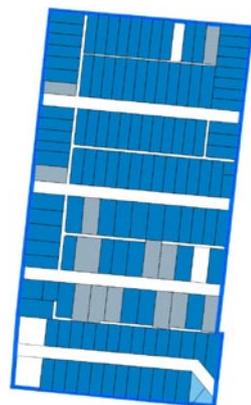


3.3.3 Building Form

Era / Style of development

Post war, including new development.

Building Type

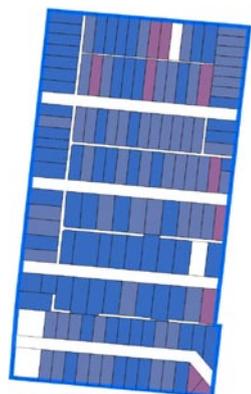


HOUSING TYPOLOGY

- Detached Building
- Semi-Detached Building
- Multi Unit

Detached buildings are the predominant building type, however a number of properties have been redeveloped and now accommodate multi-unit developments. These are most common along Furzer Street but also occur on other streets.

Materials

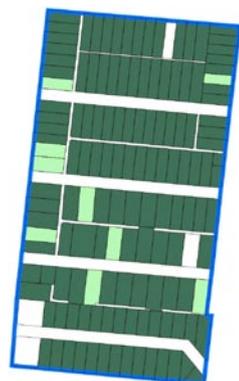


PRIMARY MATERIALS

- Brick
- Timber
- Render / Stucco

Brick, timber and render are all common within the precinct.

Height



NUMBER OF STORIES

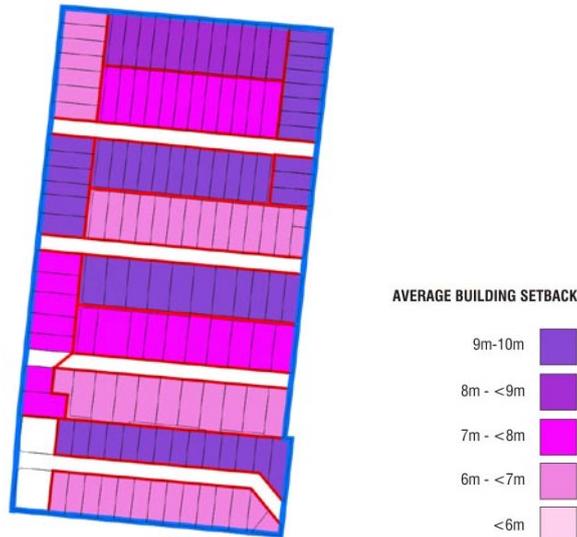
- Single Storey
- Double Storey

Predominantly single storey, however a number of the newer developments are two storeys or incorporate a second storey element.



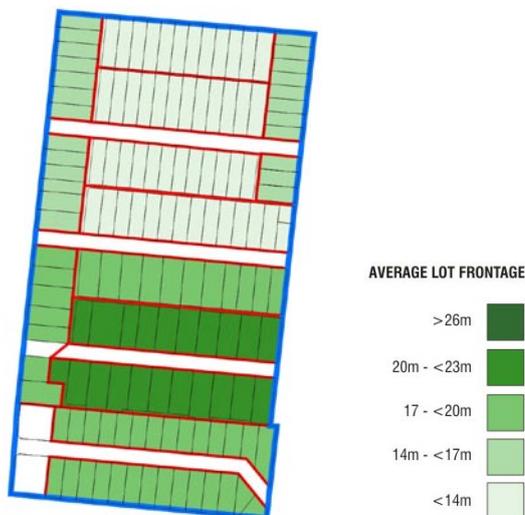
3.3.3 Building Form (continued)

Set backs



Average building setbacks are variable. Buildings on the southern side of Cool Street and Hosken Street and on the northern side of McNamarra Street have large setbacks (9m-10m) relative to the wider study area

Front Boundaries



Properties on Livingstone Street, Cool Street and the northern side of Hosken Street have small frontages relative to the wider study area.

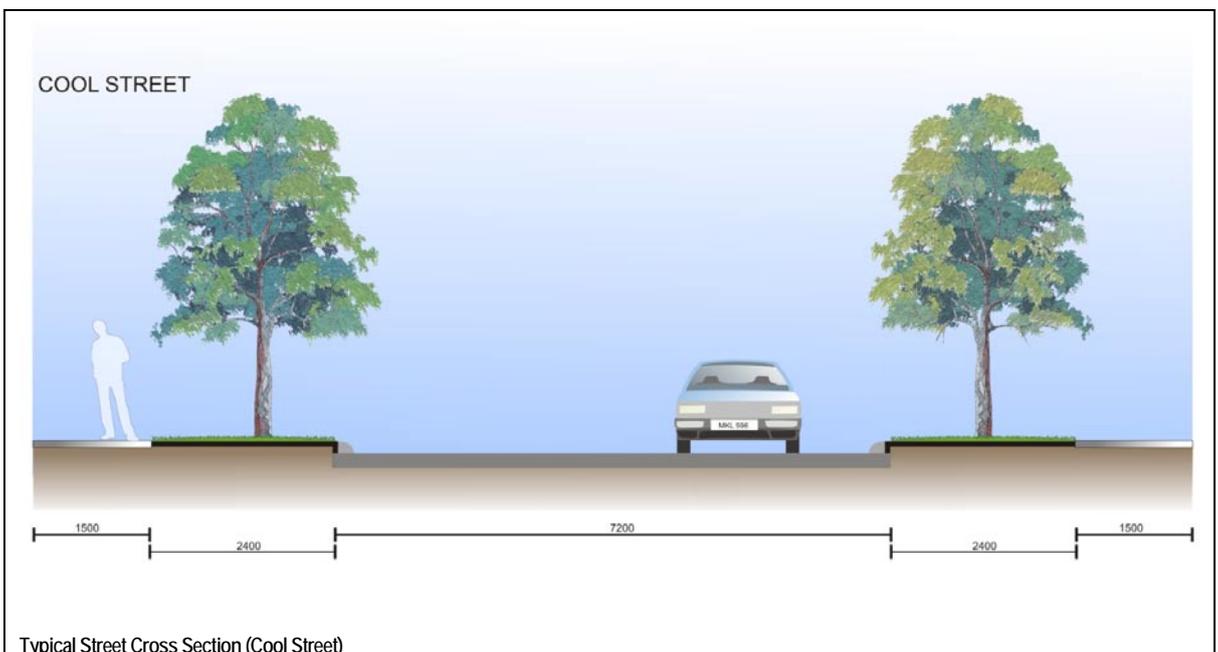
Individual front boundaries are variously defined but generally include low walls or fences.

Building condition

Buildings appear to be solid and generally well maintained.

3.3.4 Street Form

<i>Roads, Kerbs and Channels</i>	Roads are generally around 7 metres wide allowing for traffic movement in both directions. Kerbs and channels are constructed of concrete.
<i>Footpaths / Nature Strip</i>	Footpaths and nature strips are provided on both sides of the roads. Footpaths are a standard 1.5 metres wide and nature strips tend to be around 2.4 metres wide.
<i>Overhead services and lighting</i>	Overhead services and street lighting are provided along one side of the street.
<i>Vehicles and Traffic</i>	Vehicle traffic movements are low. Some on-street parking is evident however most dwellings have off street parking provision.
<i>Trees / Plantings</i>	Street trees are planted within the nature strip. These are generally well established. The trees within the nature strip on Cool Street are particularly impressive. Residential gardens are varied in character, but generally include a lawn and exotic plantings.





3.3.5 Photos



Cool Street streetscape



Local Shops on Elizabeth Street



Typical single storey building



New two storey residential buildings



New development corner Elizabeth and Hosken Street



Buildings on Elizabeth Street

3.3.6 Summary

- A small parade of local shops is situated on Elizabeth Street, but the area is predominantly residential in character.
- The precinct has a mixed built form character. While original detached buildings still prevail, a number of new multi unit infill developments have been built. These often include a mixed palette of building materials and incorporate a second storey.

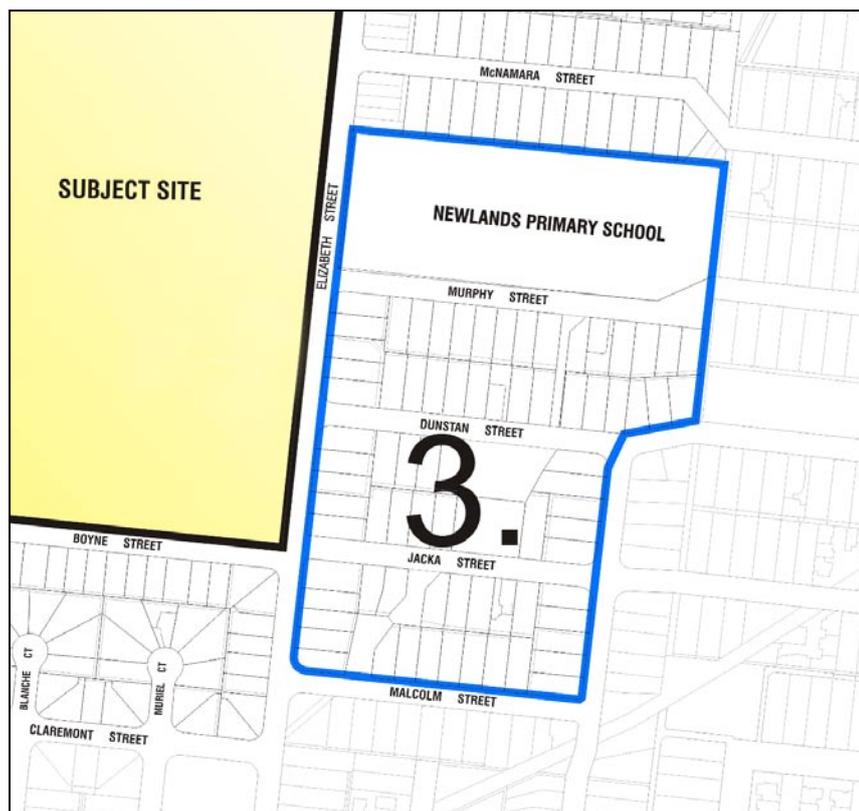
3.4 PRECINCT 3

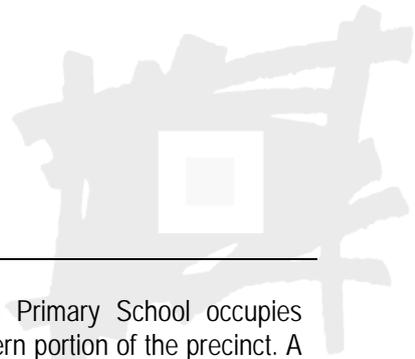
3.4.1 Introduction

Precinct 3 is located to the east of the subject site between Malcolm Street (at the southern end) and Newlands Primary School (at the northern end). The area comprises the following streets:

- the northern side of Malcolm Street;
- Jacka Street between Elizabeth Street and George Street;
- Dunstan Street between Elizabeth Street and George Street;
- Murphy Street;
- the western side of George Street from Malcolm Street north;
- the eastern side of Elizabeth Street between Malcolm Street and Murphy Street.

The land area is administered by Darebin City Council and falls within 'Precinct F9' of the Councils Urban Character Study (December 1998) and 'Precinct 9' of the Draft Neighborhood Character Study (February 2006).





3.4.2 General Characteristics

Land uses

Newlands Primary School occupies the northern portion of the precinct. A Lebanese Community Building is located on the southern side of Dunstan Street. The balance of the area is residential.

Topography and Subdivision Pattern



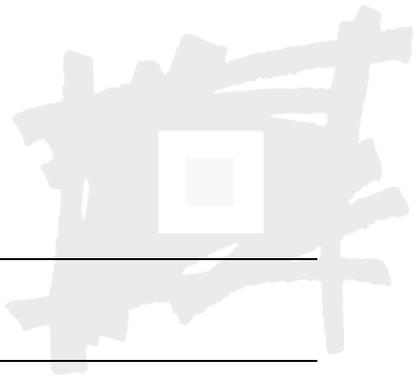
The land falls towards the north and the west from a high point at the south east corner of the site. The slope is most pronounced in Malcolm Street where the level falls by approximately 10 metres from George Street to Elizabeth Street.

The study area comprises a standard grid subdivision pattern, with Elizabeth Street and George Street running in a north-south direction and Malcolm, Jacka, Dunstan and Murphy Streets running in an east-west direction.

Lot Sizes



Lot sizes are broadly similar across the precinct, generally ranging between 500m² and 600m².

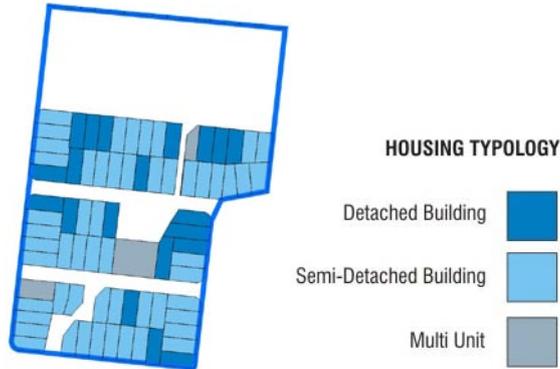


3.4.3 Building Form

Era / Style of development

Post war.

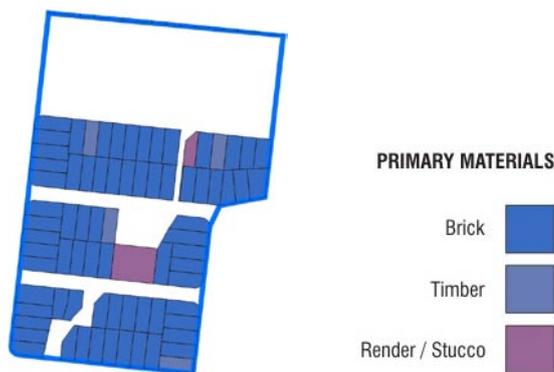
Building Type



There are a high proportion of semi-detached properties within the precinct.

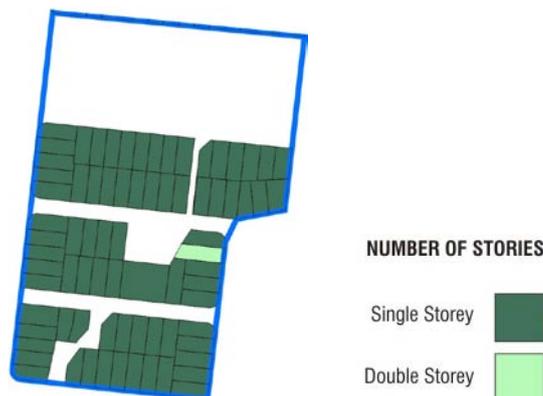
Detached and multi unit developments (notably an 8 unit development on the northern side of Jacka Street) also exist.

Materials

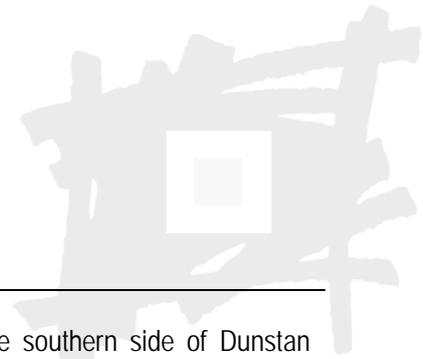


The predominant building material is brick. A limited number of timber and render buildings also exist.

Height

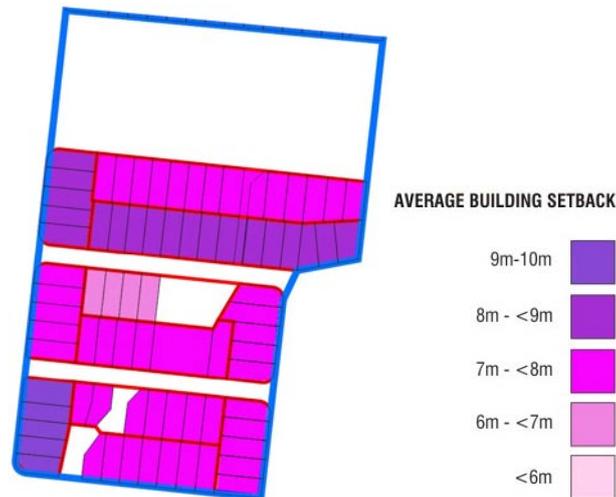


Development is almost exclusively single storey.



3.4.3 Building Form (continued)

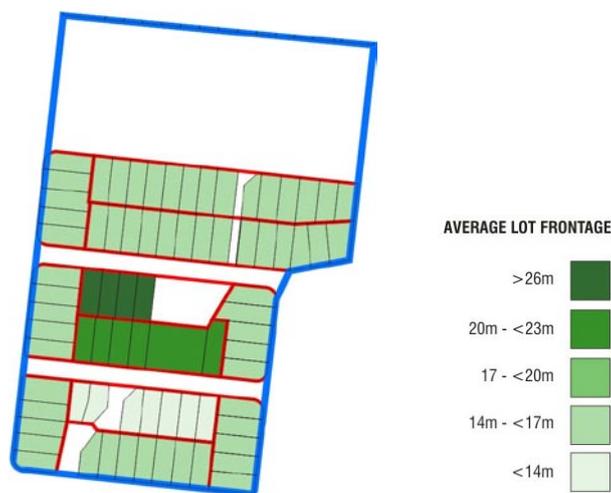
Set backs



Along the southern side of Dunstan Street, buildings are set back an average of 6 metres from the street frontage. Otherwise the average setback is generally about 8 metres.

Along Elizabeth Street, the average setback varies from 7.5 metres to 9 metres.

Front Boundaries



Lot frontages are most commonly between 14 and 17 metres wide. Larger average frontages occur along the southern side of Dunstan Street and the northern side of Jacka Street.

Front boundary treatments are mixed, but predominantly include low fences or walls constructed of timber or brick.

Building condition

Buildings appear to be solid and generally well maintained.



3.4.4 Street Form

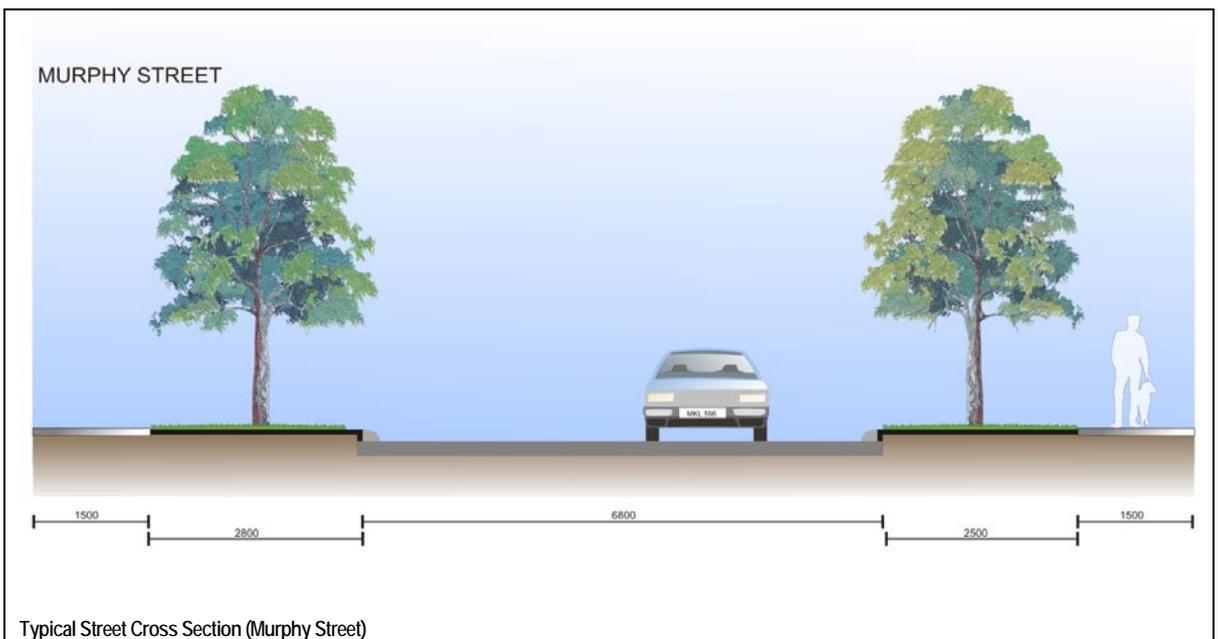
Roads, Kerbs and Channels Roads are typically around 6.8 metres wide and provide for two way traffic movements. Kerbs and channels are constructed of concrete.

Footpaths / Nature Strip Footpaths and nature strips are typically provided on each side of the road.

Overhead services and lighting Overhead services are provided along one side of the road.

Vehicles and Traffic Traffic movements are low. A limited amount of on-street parking is apparent but generally parking is off-street to the side of houses.

Trees / Plantings Street trees are provided on both sides of the road. These include a variety of tree species. Residential gardens are varied, but generally include lawn and exotic plantings.





3.4.5 Photos



Murphy Street streetscape



Typical single storey detached dwelling



Lebanese Community building, Dunstan Street

3.4.6 Summary

- The precinct is predominantly residential.
- Brick is the predominant building material however other materials (timber and render) also exist.
- Lot sizes are fairly uniform (500m² to 600m²) however other character features, including lot frontages and building setbacks, vary.
- Detached, semi-detached and multi unit developments all occur within the precinct. Semi detached properties are the most common.
- Buildings are almost exclusively single storey in height.



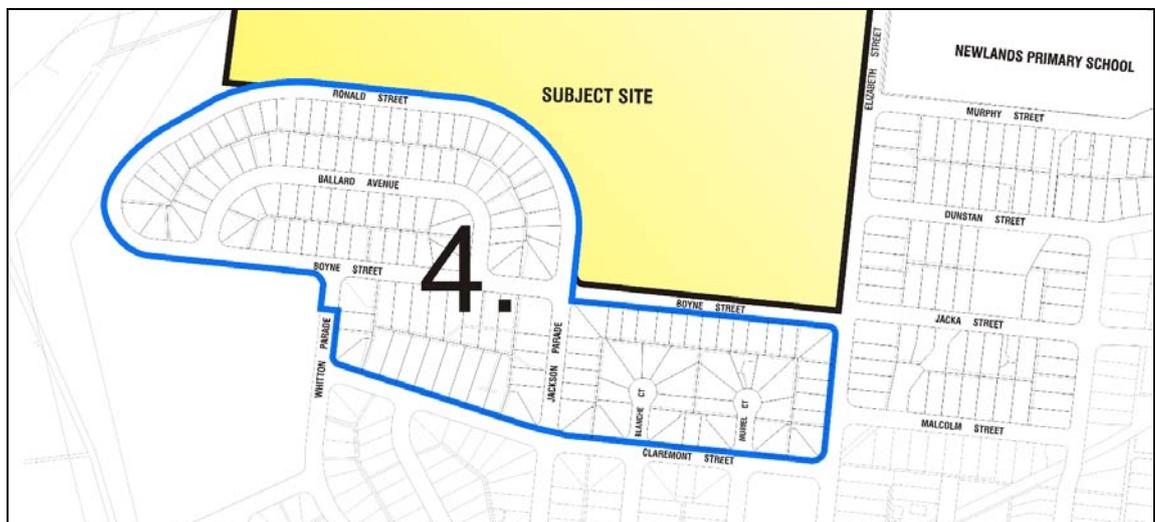
3.5 PRECINCT 4

3.5.1 Introduction

Precinct 4 is located immediately to the south of the subject site and comprises the following streets:

- Ronald Street;
- Ballard Avenue;
- Boyne Street;
- the eastern side of Whitton Parade between Boyne Street and Claremont Street;
- Jackson Parade from Claremont Street north;
- Blanch Court;
- Muriel Court;
- the northern side of Claremont Street; and
- the western side of Elizabeth Street between Claremont Street and Boyne Street.

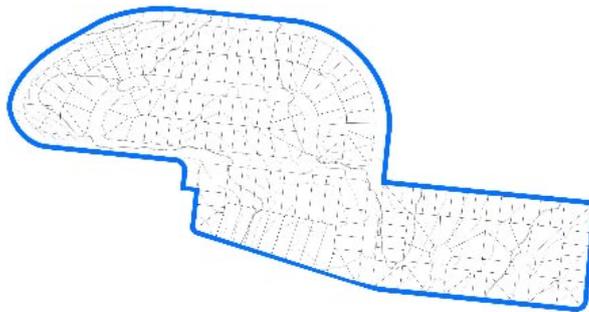
The land area is administered by Moreland City Council and forms part of 'Precinct 26' of the Moreland Urban Character Study (1996). This area also lies within the Newlands Estate Precinct Heritage Overlay (HO124) identified in the Moreland Planning Scheme.



3.5.2 General Characteristics

<i>Land uses</i>	Residential.
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Topography and Subdivision Pattern

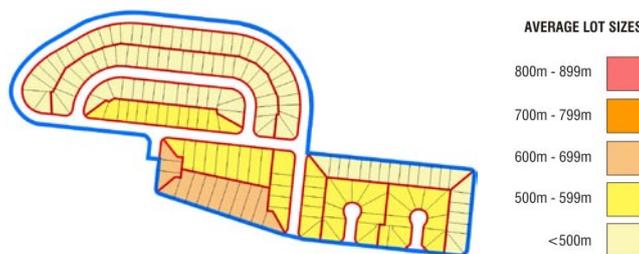


The land is gently to moderately undulating and generally slopes downwards towards Edgars Creek. A low point is located at the western edge of the study area near the intersection of Ronald Street and Boyne Road. Boyne Road rises to a high point near its intersection with Jackson Parade and slopes downwards towards the east and west.

Ronald Street and Ballard Avenue are curved to conform with the contour of the land. Whitton Parade and Jackson Parade run in a north-south direction parallel to Elizabeth Street, while Boyne Street and Claremont Street provide east-west connections. Blanch Court and Muriel Court are cul-de-sacs with access to and from Claremont Street.

The area forms part of the, heritage listed, Newlands Estate. The estate is based on the British and American garden suburb and new town planning theory and is considered one of the best examples of such estates for its completeness and range of building types (*Coburg Conservation Study*).

Lot Sizes



Lot sizes vary as a consequence of the irregular street pattern. The lots immediately opposite the subject site are the smallest within the overall study area, with an average size of less than 500m².



3.5.3 Building Form

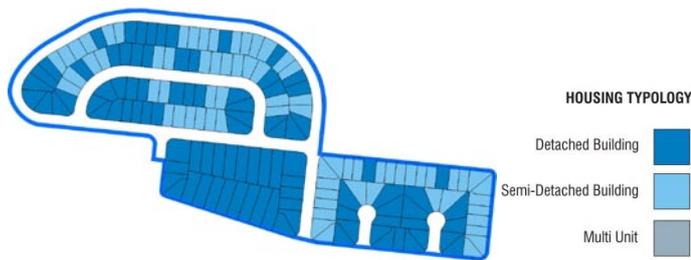
Era / Style of development

Post war.

Building Type

There is a broadly even mix of detached and semi-detached buildings within the study area.

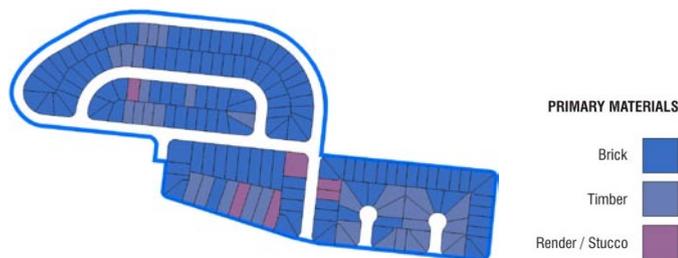
There are no multi-unit developments.



Materials

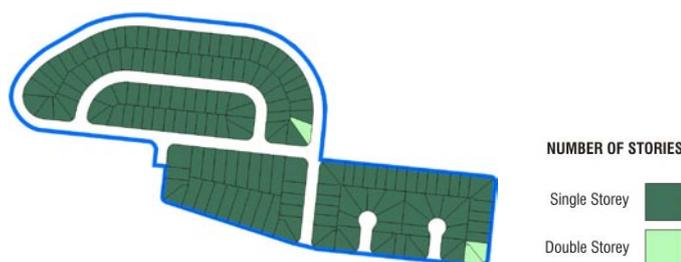
Along Boyne Street and Ronald Street (including those properties forming the immediate interface with the subject site) houses are predominantly constructed of red brick. Exceptions include 37-41 Ronald Street (3 properties) and 18-24 Boyne Street (4 properties) which are constructed of timber.

Claremont Street, Blanche Court, Muriel Court and Jackson Parade are considerably more mixed in terms of building materials and also include render.



Height

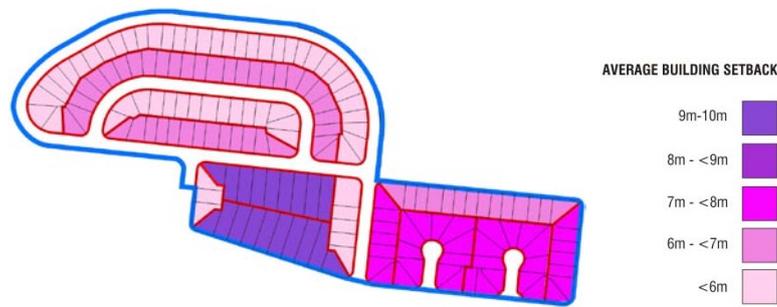
Number 1 Ronald Street (on the corner of Boyne Street) has a second storey extension, and the building located on the corner of Claremont and Elizabeth Streets is two storeys. Otherwise buildings are exclusively single storey.





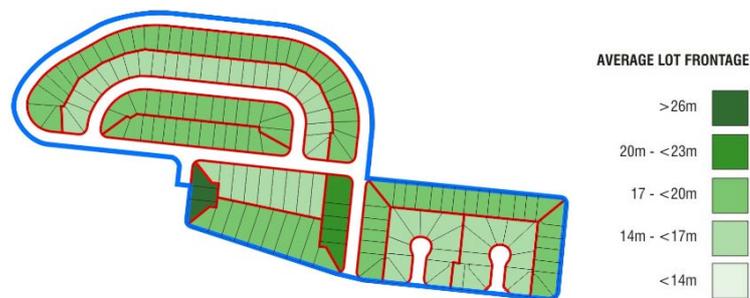
3.5.3 Building Form (continued)

Set backs



Houses immediately facing the former Kodak site are set back an average of between 5.5 metres (along Ronald Street) and 6.5 metres (on Boyne Street). This is a small setback in the context of the overall study area. Elsewhere, set back distances are as much as 10 metres.

Front Boundaries



Most properties within the precinct, including those immediately opposite the subject site, have average frontages of between 17 and 20 metres.

Individual boundary treatments are mixed, and variously include low and high fences or walls constructed of timber, brick or other materials.

Building condition

Buildings appear to be solid and generally well maintained.

3.5.4 Street Form

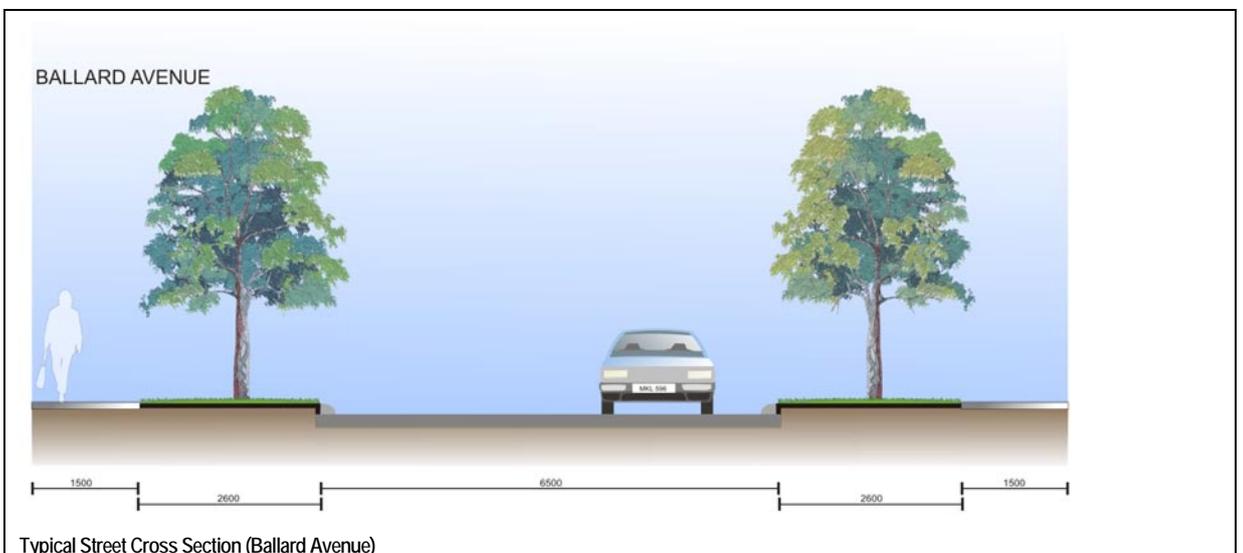
Roads, Kerbs and Channels Roads are approximately 6.5 metres wide and provide for two way traffic movements. Kerbs and channels are constructed of concrete.

Footpaths / Nature Strip Footpaths and nature strips are typically provided on each side of the road. Different arrangements exist around the western edge of the precinct where the land abuts non-residential areas.

Overhead services and lighting Overhead services are generally provided along one side of the road. Substantial pylons and transmission lines are located to the west of the study area and are prominent feature in views towards Edgars Creek and beyond, including along Boyne Street.

Vehicles and Traffic Traffic movements are low. A limited amount of on-street parking is apparent but, generally, parking is provided off-street to the side of individual houses.

Trees / Plantings Street trees are provided on both sides of the road. These include a variety of tree species and ages (including recent plantings). Some trees appear to be in poor condition. Residential gardens are varied in character, but generally include lawn and exotic plantings.



Typical Street Cross Section (Ballard Avenue)

3.5.5 Photos



Typical semi-detached building, Boyne Street



Boyne Street streetscape



Typical Semi detached buildings, Ronald Street.



Ronald Street streetscape



Two storey building, corner of Boyne and Ronald Streets



Timber buildings on Ronald Street opposite subject site

3.5.6 Precinct Summary

- The precinct forms part of the Newlands Estate. The estate is heritage listed and has been designed to respond to the contours of the land and to provide interaction with, and views to, Edgars Creek.
- Land uses are entirely residential.
- There is a strong uniformity of building age (1960's).
- Brick is the dominant building material in the northern parts of the precinct (including immediately opposite the subject site). However timber and, to a lesser extent, render are common to the south.
- The properties immediately opposite the subject site are relatively small in size (less than 500m²) and have small building setback distances relative to the wider study area.
- Buildings are either detached or semi-detached. There are no multi-unit developments within the precinct.
- Buildings are almost exclusively single storey in height.



3.6 SPECIAL STUDY PRECINCT AREAS: LAND TO THE WEST

3.6.1 Introduction

Residential precinct areas 1, 2, 3 and 4 have considered the land to the north east and south of the subject site. For completeness it is appropriate to also consider the land to the west of the subject site. This particular land however is significantly different in terms of its land use character and appearance. It has therefore been identified as a special character area and is described below.

3.6.2 Characteristics

- The land includes a mix of uses. The main Kodak building is located on an elevated land area directly west of the subject site on the opposite side of Edgars Creek. The building is prominent from a number of vantage points within the study area and from elsewhere in the wider area. It is understood that the building, and associated land, are to be on-sold and are likely to continue to be used for employment purposes.
- Other industrial uses operate on either side of Newlands Road to the north and west of the Kodak building. Some of these are also visible from within the study area including along Livingstone Street.
- Transmission lines run in an approximately north south direction adjacent to Edgars Creek and near the western edge of the site. The supporting pylons are prominent from a number of viewpoints within the study area, especially along Boyne Street and Tilley Street and from the western end of Ronald Street.
- Large areas of public open space, including many new and established trees, are also located west of the site.
- Formal and informal pedestrian and bicycle paths provide connections west to Newlands Road, and south to the Merri Creek path and to different community and recreation facilities.



3.6.3 Photos



View of Kodak building from Ronald Street



View of industrial buildings from Livingstone Street



Transmission line pylon to west of subject site



Public open space



Informal pathway adjacent to Edgars Creek



Main Kodak building west of the subject site



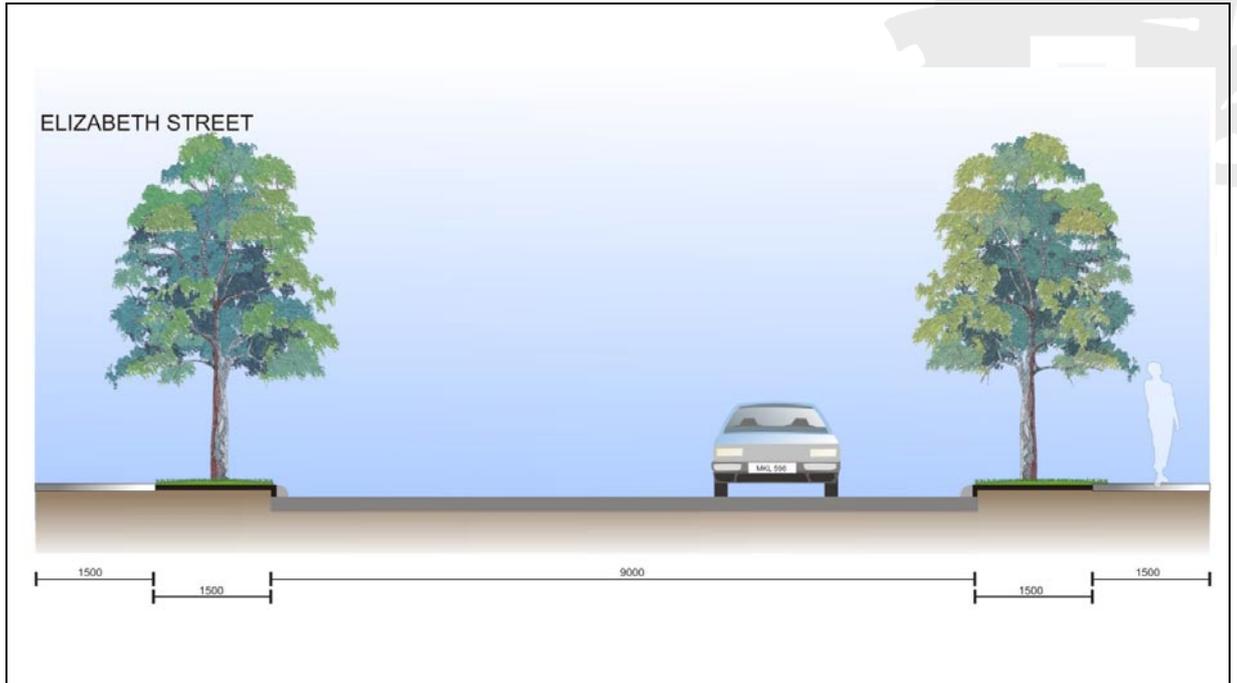
3.7 SPECIAL STUDY AREA: ELIZABETH STREET

3.7.1 Introduction

Elizabeth Street is important in the context of the built form analysis because of its proximity to the subject site and because it is a common element to all four residential precincts. Elizabeth Street is also significant as the dividing line between the land areas administered by Moreland Council (to the west) and Darebin Council (to the east).

3.7.2 Characteristics

- Elizabeth Street runs in a north-south direction along the eastern edge of the subject site. It is an important road within the local area in that it provides a direct connection south to both Murray Road and Bell Street.
- The street is physically wider than other streets within the study area, reflecting its higher order function. Nature strips, on either side of the road, are correspondingly narrower than elsewhere and street trees are less regular. (A typical cross section of the street is provided on the following page).
- There is a mixture of land uses along the street including Newlands Primary School, a short parade of local shops and services either side of McNamara Street and a small cluster of business between Tilley Street and Livingstone Street. Elizabeth Street is also likely to be the principal gateway to any redevelopment of the subject site.
- A traffic light controlled pedestrian crossing is provided across Elizabeth Street adjacent to Newlands Primary School.
- Residential properties change in character and appearance along the length of the study area. At the southern end single storey, semi-detached brick buildings are typical, while at the northern end there is a more varied form including single and double storey, and brick and timber materials.
- A number of new multi-unit developments have been constructed at the northern end of the study area.



3.7.3 Photos



Retail shops on Elizabeth Street



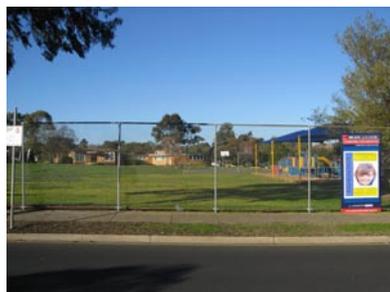
New multi-unit development



Elizabeth Street streetscape towards Melbourne CBD



Contrasting residential styles



Newlands Primary School



Traffic controls adjacent to Newlands Primary School



4 PLANS

The following pages contain a series of plans which illustrate built form features relating to the entire study area. The plans are presented in the following order.

- Average Lot sizes.
- Average Property Frontages.
- Average Building Set backs.
- Building Types.
- Building Heights.
- Building Materials.



AVERAGE LOT SIZES



SUBJECT SITE

Client
Urbex Pty Ltd
Project
Built Form Analysis
Former Kodak Site
Drawing Title
Average Lot Sizes

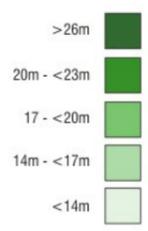
Drawing Number
07-6769-004-sk003
Revision
P1

Date
11.07.2007
Scale (A1)
1:2000
Drawn
LUM/TMS
Scale (A3)
1:4000
Approved





AVERAGE LOT FRONTAGE



SUBJECT SITE

Client
Urbex Pty Ltd

Project
Built Form Analysis
Former Kodak Site

Drawing Title
Average Lot Frontage

Drawing Number
07-6769-004-sk004

Revision
P1

Date
11.07.2007

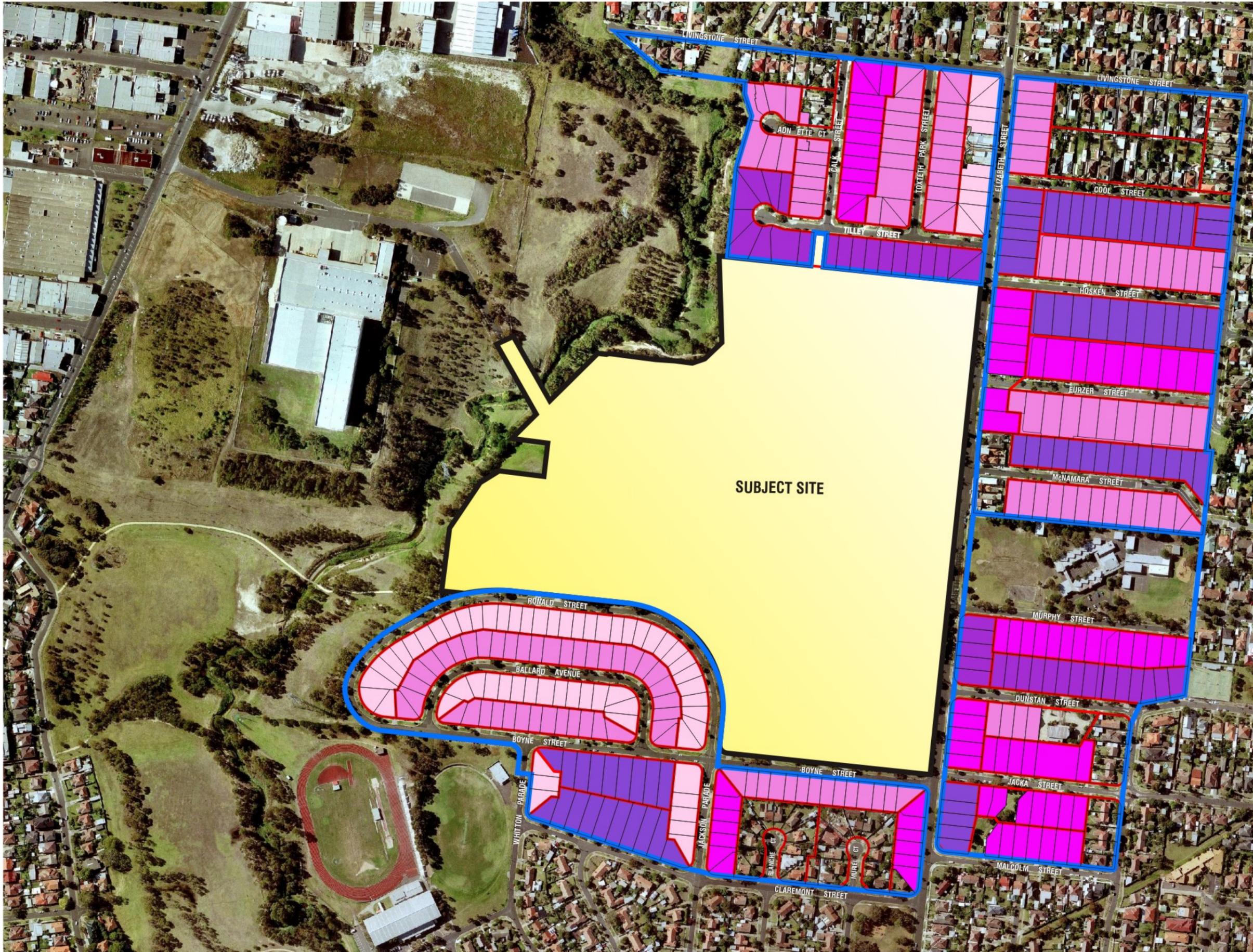
Drawn
LUM/TMS

Approved

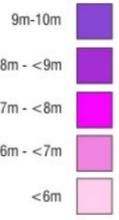
Scale (A1)
1:2000

Scale (A3)
1:4000





AVERAGE BUILDING SETBACK



SUBJECT SITE

Client
Urbex Pty Ltd

Project
Built Form Analysis
Former Kodak Site

Drawing Title
Average Building Setback

Drawing Number
07-6769-004-sk005

Revision
P1

Date
11.07.2007

Drawn
LUM/TMS

Approved
Scale (A1) 1:2000
Scale (A3) 1:4000





HOUSING TYPOLOGY

- Detached Building
- Semi-Detached Building
- Multi Unit

SUBJECT SITE

Client
Urbex Pty Ltd

Project
Built Form Analysis
Former Kodak Site

Drawing Title
Housing Typology

Drawing Number
07-6769-004-sk006

Revision
P1

Date
11.07.2007

Drawn
LUM/TMS

Approved

Scale (A1)
1:2000

Scale (A3)
1:4000





NUMBER OF STORIES

- Single Storey
- Double Storey

SUBJECT SITE

Client
Urbex Pty Ltd

Project
Built Form Analysis
Former Kodak Site

Drawing Title
Building Height

Drawing Number
07-6769-004-sk008

Revision
P1

Date
11.07.2007

Drawn
LUM/TMS

Approved

Scale (A1)
1:2000

Scale (A3)
1:4000





PRIMARY MATERIALS

- Brick
- Timber
- Render / Stucco

SUBJECT SITE

Client
Urbex Pty Ltd

Project
Built Form Analysis
Former Kodak Site

Drawing Title
Primary Materials

Drawing Number
07-6769-004-sk007

Revision
P1

Date
11.07.2007

Drawn
LUM/TMS

Approved

Scale (A1)
1:2000

Scale (A3)
1:4000





5 SUMMARY

5.1 SITE CHARACTERISTICS

Local topographical high points are located near the intersection of Elizabeth Street and Livingstone Street (where the land rises to 77 metres) and on the western side of Edgars Creek just north of the main Kodak building (where the land rises to approximately 73 metres). The land generally falls towards Edgars Creek (which lies between approximately 45 and 50 metres) and from north to south across the study area. The most pronounced slopes are located near the western edge of the subject site adjacent to Edgars Creek. In these locations the topography of the land has influenced the pattern of subdivision and, in some cases, the form of the housing.

Land to the north, east and south of the subject site is predominantly residential in character and comprises lots of varying sizes. The smallest lots (less than 500 square metres) are generally located towards the south of the study area including immediately opposite the southern boundary of the subject site. By contrast, larger lots (in excess of 700 square metres) are generally located in the north east of the study area (precinct 2). A number of these larger lots have been redeveloped in recent years to provide residential infill in the form of multi-unit developments.

Triangular shaped corner sites are a prominent subdivision feature in the area west of Elizabeth Street, but do not feature east of Elizabeth Street.

To the west of the subject site, land on either side of Newlands Road is used for industrial purposes. A number of the associated buildings, including the main Kodak building, are visible from long distances. Main transmission lines and supporting pylons approximately follow the alignment of Edgars Creek and are also visually prominent. Other land to the west of the subject site is used for public open space purposes and incorporates formal and informal pedestrian and cyclist pathways.

5.2 BUILDING FORM

Original housing in the area is from the post war era. In the southern part of the study area this remains the predominant building type and is typically represented by detached or semi-detached, single storey, residential units constructed of red brick. Timber, and to a lesser extent render, buildings also exist but these are exceptional. Similarly, there are isolated examples of two storey development.

The north of the study area is considerably more diverse in built form character. The area includes a number of contemporary multi-unit developments as well as original housing. Brick, timber and render are all relatively common building materials and a number of the newer developments incorporate a combination of elevation materials. In the northwest of the study area (precinct 1) two storey buildings have been constructed in response to the steep slope of the land. Elsewhere in the north, two storey developments reflect a more intense form of urban land development.

Average front boundary widths vary across the study area from less than 14 metres to more than 26 metres. The properties immediately facing the subject site fall within the lower end of the range and are typically between 14 metres and 20 metres.

Similarly, average building set backs (distance from the front property boundary) are varied across the site. On Boyne Street and Ronald Street, where properties would directly face development on the subject site, the average setback is relatively small (less than 7 metres).

5.3 STREET FORM

The streets in the vicinity of the subject site are generally residential in nature and support low volumes of local traffic.

Streets are typically wide enough to comfortably provide for two way traffic movements and to also allow for on-street parking (though most dwellings incorporate vehicle parking provision on-site). Nature strips and pedestrian footpaths are generally provided on both sides of the street and overhead services and street lighting are provided on one side.

Elizabeth Street is physically wider than other streets, and provides an important southbound connection to Murray Road and Bell Street. The higher order function of Elizabeth Street is reflected in its mixed use character which includes Newlands Primary School and local retail and commercial shops on either side of McNamara Street, and also between Tilley Street and Livingstone Street.



6 RECOMMENDATIONS

6.1 OVERVIEW

Based on the information and analysis set out in the preceding sections of the report, this section makes recommendations in relation to the potential redevelopment of the subject site. For the purposes of this report, it is assumed that a predominantly residential development is likely.

The most critical development areas of the subject site are at the extremities where there is a direct interface with existing development - this includes the northern, eastern and southern edges of the site.

Of these areas, the existing properties on Tilley Street (to the north of the site) immediately about the site and have principle frontages that are orientated northwards away from the site. New development will create a 'back to back' relationship with the existing properties.

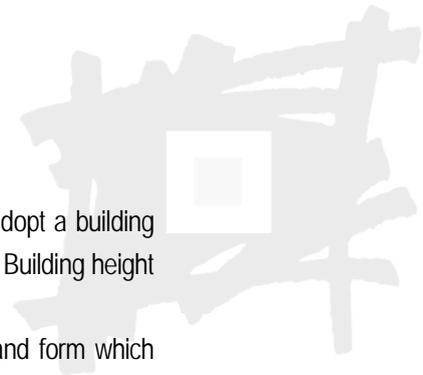
To the east of the site, Elizabeth Street is wider and busier than other streets in the area and will act as a physical division between existing development and new proposed development. Elizabeth Street already incorporates a mix of land uses and includes a variety of housing styles.

The most critical interface will be along the southern boundary where development will face existing properties on Ronald Street and Boyne Street. These properties include a high element of consistency in terms of building type (detached or semi-detached), building material (red brick), building height (single storey) and general character (post war era).

To the west, the development will adjoin the public open space area adjacent to Edgars Creek and will have a relationship with the passive and recreational land uses which exist in the vicinity.

6.2 SUBDIVISION PATTERN

- Subdivision of the southern part of the subject site should respect the existing pattern along Ronald and Boyne Streets. In particular, relatively small lot sizes should be developed and lot frontages should be broadly consistent with the existing layout.
- The site should generally incorporate a range of lot sizes suitable for accommodating a mix of building forms and styles including detached housing and multi-unit development.



6.3 BUILT FORM AND SCALE

- New buildings immediately facing Ronald and Boyne Streets should adopt a building mass and scale that is sympathetic to the form of the existing housing. Building height should not overwhelm the existing properties.
- Properties along the western edge of the site should be of a scale and form which appropriately relates to Edgars Creek and its environment. In general, buildings in this location should not exceed two storeys in height unless particular circumstances including, for example, topography and screening, allow taller development.
- New buildings should incorporate architectural elements and features to complement and reflect the character and style of existing buildings and to create diversity and interest, but should not seek to replicate or reproduce historic architectural detailing.
- Buildings taller than two storeys in height should generally be located internally within the site, or along Elizabeth Street.
- The particular potential for taller buildings should be explored in relation to sloping or undulating areas of the site, including to the north and west, where the topography of the land creates favourable buildings opportunities. This reflects the form of development in precinct 1.

6.4 BUILDING MATERIALS

- New buildings immediately facing Ronald and Boyne Streets should include brick as a building material or design element so as to complement the prevailing use of brick in the existing buildings.
- New buildings throughout the site should individually, or in combination, use a variety of building materials to create visual interest and to reflect the varied nature of the surrounding area.

6.5 SETBACKS

- New buildings immediately facing Ronald and Boyne Streets should be set back a similar distance to those existing buildings (approximately 5.5 metres to 6.5 metres) so as to continue the existing street form.
- In accordance with the mixed character of the wider area, building set back distances across the development should not be uniform or prescribed but should generally be sufficiently deep to enable front gardens to be established.

6.6 OTHER DETAILS

- New roads within the development should generally complement the scale and form of the existing surrounding street network.
- Existing road surfaces, kerbs and channels around the perimeter of the site should be retained as far as possible. New road detailing at the interface of the site should complement the existing materials and profile.
- There are a variety of forms of front fences and walls in the surrounding area. The new development should encourage a similar and compatible mix, including in terms of terms building materials, height and style.

June 2009

Collie Pty Ltd

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